



HOUSTON COMMUNITY COLLEGE SYSTEM 2009 FACILITIES ASSESSMENT REPORT Project No. 09-22









October 08, 2009





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In Association With: Johnston, LLC Knudson and Associates Van De Wiele Engineering, Inc.



October 8, 2009

Dr. Art Tyler Deputy Chancellor and COO Houston Community College 3100 Main Houston, Texas 77002

> FACILITIES CONDITION ASSESSMENT REPORT HOUSTON COMMUNITY COLLEGE ESPA CORP Project # 5275-001

Dear Dr. Tyler,

ESPA CORP, **Inc**. (**ESPA**) is pleased to submit the enclosed final Assessment Report for Houston Community College's (HCC) current facilities. This study was performed pursuant to your approval by the issuance of HCC purchase order number 67809 dated June 2, 2009.

The Houston Community College (HCC) operates a system of 54 facilities encompassing approximately 4.1 million square feet. HCC has 6 system Colleges (Central, Northeast, Northwest, Southeast, Southwest, and Coleman) and 22 Campuses. The College Administration and Board of Trustees assigned the ESPA Team the task of developing an inventory and assessing the existing condition of facilities.

The Facilities Assessment Consultant Team was lead by ESPA CORP and was supported by members from Johnston, LLC (MEP), Knudson and Associates (landscape), and Van De Wiele Engineering (civil infrastructure). Several HCC Administration members, including, Winston Dahse (Vice Chancellor of Facilities), Dr. Art Tyler (Deputy Chancellor and COO), Reynaldo Pradia (Director of Construction), Hector Perez (Director of Maintenance) and Alden Tiggs (CAD / Ad Astra System Administration), supported the assessment effort by facilitating the study, providing continuous interaction and help with its direction. In addition, campus operations, maintenance, and management personnel assisted in the study by providing access to the facilities, additional on-site information, and support during the site visits.

This Facilities Condition Assessment Report provides an inventory and detailed physical condition of the existing facilities along with the detailed costs for the identified facilities' improvements and a recommended timeframe to implement the repairs.

This Report is presented in two volumes and is organized into the following sections:

- Executive Summary
- Section 1 Facilities Data Retrieval & Documentation Process
- Section 2 Facilities Condition Assessment Methodology & Data
- Section 3 Deferred Maintenance Costs, Schedule & FCI
- Section 4 Summary of Recommendations and Action Plan
- Detailed Facilities & Assessment Data and Back-up Information Volume 2



FACILITIES CONDITION ASSESSMENT REPORT HOUSTON COMMUNITY COLLEGE ESPA CORP Project # 5275-001

This study is the next logical step in supporting and solidifying HCC's on-going planning efforts to create a Comprehensive Facilities Master Plan. We hope the information presented in this report will form a good basis for facilities operations, their management, and also in the planning of present and future college activities.

We appreciate the opportunity to perform this study. Please call us at 713.680.0080 should you have any questions, need any additional information, or if we can be of any further assistance.

Sincerely,

ESPA CORP, Inc.

Grant Wiley, Jr.

Project Manager

Karun Sreerama, MBA, Ph.D., P.E. President

Enclosures - Facility Condition Assessment Report - Volumes 1 & Volume 2



Director - Architecture Services



FACILITIES DATA RETRIEVAL AND DOCUMENTATION PROCESS

FACILITIES CONDITION ASSESSMENT METHODOLOGY AND DATA

DEFERRED MAINTENANCE COSTS, SCHEDULE AND FCI

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HCCS FACILITIES ASSESSMENT

Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	AMER	Americana Bldg	Americana Building	811 Dallas St, 77002		0	1 1/2	30,000	\$36,000	\$5,161,000	0.70%
Sitework / L Landscape: N/		•••••••••••••••••••••••••••••••••••••••	•••••••••••••••••••••••••••••••••••••••		· <u>·············</u> ······················			·:·:·:·:·:			<u></u>
Sitework: N/A Building De	scription	······································	······································	······································		······	·····	·····	······································		
			uston. The 7th floor is leased and used for classroon le of Standards sections 4.16.2 and 4.19.3 for clear flo	ns and computer training. Half of the 6th floor is lease oor space.	d for massage th	erapy training cl	asses. These spa	aces were built-	out within the last five ye	ars. Restrooms need to	be upda
Mechanical Mechanical Sys		lity are being maintained by the building owner CBRE	and not HCC.		·····	·		<u></u>	·····		<u></u>
Electrical	····	······································	······	······································	·····	·····	·····	····	·····	·····	<u> </u>
Electrical Syste	ems for this facility	r are being maintained by the building owner CBRE are being maintained by the building owner CBRE are building owner building owner cBRE are building owner building owner building owner cBRE are building owner building own	nd not HCC.								<u></u>

Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16.2 and 4.19.3 for clear floor space.

Photographs			
Date:	11-Jun-09	Date: 2-Jul-09	
Description:	Southwest elevation of Americana Building.	Description: Typical restroom with non ADA compliance.	





Location Map





	e Code Ig Code	200 AMER																
	ig Code ig Name	Americana Building	-															
Qty.	Line Number	Description	Unit	Materia		Labor	Equipm	ent	Total	Extra Material	Ext Lat		Extra Equipme	and a start of a start of	Extra(s Total	1 ((Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.	00 \$	81.50	0 \$ 20	00 \$	205.50	\$ -	\$	-	\$ -	- \$		- \$		\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.	35 \$	3.4	1 \$ ·	\$	3.76	\$-	\$	-	\$	- \$	-	- \$	5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850	00 \$	595.00	D\$.	\$	2,445.00	\$-	\$	-	\$	- \$		- \$	3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$; -	\$	108.00	D \$ -	\$	108.00	\$-	\$	-	\$	- \$		- \$	175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.	61 \$	4.39	9 \$ 2	03 \$	9.03	\$-	\$	-	\$	- \$		- \$	11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. \$	2.	20 \$	0.6	1 \$.	\$	2.81	\$ -	\$	-	\$	- \$		- \$	3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.	36 \$	0.64	4 \$ ·	\$	2.00	\$-	\$	-	\$	- \$		- \$	2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.	50 \$	2.03	3 \$ -	\$	45.53	\$-	\$	-	\$ -	- \$		- \$	51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.	00 \$	21.50	D\$-	\$	71.50	\$-	\$	-	\$ -	- \$		- \$	90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.	50 \$	1.83	3 \$ ·	\$	3.33	\$-	\$	-	\$-	- \$		- \$	4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.	12 \$	0.3	5\$.	\$	0.47	\$-	\$	-	\$ -	- \$		- \$	0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.	12 \$	0.4	1 \$.	\$	0.53	\$-	\$	-	\$	- \$	-	- \$	0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.	94 \$	3.3	1 \$.	\$	7.25	\$-	\$	-	\$	- \$		- \$	9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.	50 \$	4.00	D\$.	\$	52.50	\$-	\$	-	\$ -	- \$		- \$	59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.	00 \$	45.50	D\$.	\$	655.50	\$-	\$	-	\$	- \$		- \$	750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.	50 \$	10.60	D \$ -	\$	19.10	\$-	\$	-	\$	- \$		- \$	26.50	\$-
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$; -	\$	-	\$	\$	0.75	\$-	\$	-	\$ -	- \$		- \$	0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.	85 \$	3.06	6 \$ ·	\$	9.91	\$-	\$	-	\$ -	- \$		- \$	12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.	93 \$	0.97	7 \$ ·	\$	1.90	\$-	\$	-	\$-	- \$		- \$	2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F. \$	14.	50 \$	8.2	5\$	\$	22.75	\$-	\$	-	\$-	- \$		- \$	29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.	00 \$	145.00	D \$ -	\$	805.00	\$-	\$	-	\$ -	- \$		- \$	953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.	00 \$	119.00	о\$-	\$	599.00	\$-	\$	-	\$-	- \$		- \$	751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.	00 \$	29.00	о \$.	\$	250.00	\$-	\$	-	\$	- \$		- \$	291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.	45 \$	1.4	5\$.	\$	2.90	\$-	\$	-	\$	- \$		- \$	4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.	00 \$	91.50	D\$-	\$	197.50	\$ -	\$	-	\$ -	- \$		- \$	280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.	55 \$	4.72	2 \$.	\$	14.27	\$-	\$	-	\$	- \$		- \$	18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.	49 \$	0.83	3 \$ -	\$	2.32	\$ -	\$	-	\$	- \$		- \$	3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.	00 \$	111.00	5 \$ 10	30 \$	391.30	\$ -	\$	-	\$-	- \$		- \$	514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.	00 \$	37.50	D \$ -	\$	332.50	\$-	\$	-	\$	- \$		- \$	387.00	\$-
0	-	Wood Strip Flooring	L.F. \$	3.	85 \$	3.8	5\$·	\$	7.70	\$ -	\$	-	\$	- \$		- \$	7.71	\$-
3	-	ADA Toilet Renovation	Ea. \$	6,000	00 \$	6,000.00	D\$.	\$	12,000.00	\$ 18,000.00	\$ 18,0	00.00	\$	- \$	36,000	0.00 \$	12,000.00	\$ 36,000.0
0	-	ADA Handrail Renovation	Run \$	700.	00 \$	700.00	с \$	\$	1,400.00	\$-	\$	-	\$	- \$		- \$	1,400.00	\$ -
0	-	Wheelchair Lift	Ea. \$	7,500	00 \$	7,500.00	с \$	\$	15,000.00	\$-	\$	-	\$	- \$		- \$	15,000.00	\$-
0	-	Elevator Signage	Ea. \$	50.	00 \$	50.00	D \$ -	\$	100.00	\$ -	\$	-	\$	- \$		- \$	100.00	\$
otal										\$-	\$	-	\$ -	- \$		-		\$ 36,000.0





EXECUTIVE SUMMARY





EXECUTIVE SUMMARY

This **Executive Summary** condenses and provides key findings of our Facility Condition Assessment study.

Houston Community College (HCC) facilities totaling approximately 4.1 million square feet include 54 buildings organized into 6 colleges spread over 22 campuses. HCC assigned the Level 1 Facility Condition Assessment responsibility to the ESPA team composed of ESPA CORP (Planning, Project Management, Architecture, and Engineering), Johnston, LLC (MEP), Knudson and Associates (Landscape), and Van De Wiele Engineering, Inc. (Civil Infrastructure).

The first task of this study was to retrieve the available data and documentation within the HCC system on the facilities. Drawings and other pertinent information were available for a majority of the facilities and components. A list of missing drawings and component information was identified. Based on our discussions with HCC personnel and our experience with similar facility systems, a recommendation is made for HCC's Construction Document Archival and Retrieval Process (**Section 1**).

Section 2 documents our Facilities Condition Assessment procedure and the data obtained during the field assessment. The physical condition of the buildings was assessed by visiting the buildings and, where available, discussing the building maintenance and operations with the onsite personnel. The observed deficiencies and the costs associated with the repairs are presented in a tabular form for each building. The observation and assessment of the physical condition of the buildings revealed several repairs and maintenance needs for the existing facilities. A detailed budgetary cost estimate was developed for each of these needs and summed to obtain the repair/maintenance cost for each building.

Section 3 identifies the deferred maintenance schedule, deferred maintenance budgets over the next four years, and the replacement costs of the facilities. Replacement cost for the buildings was computed developed based on RS Means 2009 Quarter 3 Construction Cost Data. A ratio of the repair and replacement costs provided the Facility Cost Index (FCI) for each building.

Facility Cost Index (**FCI**) = Maintenance / Repair Cost for the building
Replacement Cost of the building

A low FCI is good and indicates the building has been appropriately maintained. A high FCI indicates high maintenance and repair costs for the building and a lack of adequate and timely maintenance.

The below Table provides a summary of our building assessments and facility repair costs. The repair and maintenance cost for all buildings and the infrastructure around them totals about \$108 million. The replacement cost of all buildings totals approximately \$720 million. The overall FCI for all HCC buildings is 15%.

College Code	Building Code	Campus Name	Facility Name	Facility Gross SFTG	Rep	oair Hard Costs		Total Replacement Hard Costs	FCI (Facilities Cost Index)
100	SYSP	Administration	Parking Structure	488,660	\$	344,000	\$	23,768,000	1.4%
100	SYSB	Administration	System Building	531,000	\$	28,863,000	\$		39.1%
200	AMER	Americana Bldg	Americana Building	30,000	\$	36,000	\$	5,161,000	0.7%
200	BSCC	Central Campus	Business Center	36,680	\$	1,882,000	\$	6,454,000	29.2%
200	CRAW	Central Campus	Crawford Annex	1,200	\$	62,000	\$	272,000	22.8%
200	CIC	Central Campus	Curriculum Innovation Center	2,000	\$	130,000	\$	717,000	18.1%
200	EDC	Central Campus	Educational Development Ctr.	40,845	\$	1,206,000	\$	7,760,000	15.5%
200	FAC	Central Campus	Fine Arts Center	75,000	\$	2,417,000	\$	13,521,000	17.9%
200	FACP	Central Campus	Fine Arts Parking Structure	213,900	\$	94,000	\$		0.9%
200	HEINEN	Central Campus	Heinen Theater	18,000	\$	837,000	\$	3,252,000	25.7%
200	JDB	Central Campus	J. Don Boney Building	35,000	\$	1,864,000	\$		18.4%
200	JBW	Central Campus	J.B. Whitely Bldg.	102,000	\$	5,443,000	\$		32.6%
200	SJAC	Central Campus	San Jacinto Memorial	172,000	\$	11,149,000	\$		42.2%
200	LHSB	Central Campus	Learning Hub Science Building	120,000	\$	24,000	\$, ,	0.1%
200	SIS	•		-	.⊅ \$	-		, ,	33.6%
		Central Campus	Staff Instructional Services	21,800	ې \$	1,431,000	\$	4,259,000	
200	THT1	Central Campus	Theater One	21,900	Ŧ	1,560,000	\$	3,632,000	43.0%
200	WW	Central Campus	West Wing	60,500	\$	4,000	\$	10,199,000	0.0%
200	GAYHL	Willie Gay Hall	Willie Gay Hall	39,000	\$	101,000	\$	9,071,000	1.1%
300	TRANSA	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg A	53,658	\$	3,316,000	\$	8,456,000	39.2%
300	TRANSB	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg B	18,401	\$	1,620,000	\$	3,607,000	44.9%
300	CODW	Codwell Hall Campus	Codwell Hall	76,000	\$	126,000	\$, ,	0.8%
300	BLDG4	Codwell Hall Campus	Codwell Hall Shower (Temp)	1,325	\$	5,000	\$	219,000	2.3%
300	LHUB	Codwell Hall Campus	Learning Hub at Northeast	90,000	\$	28,000	\$	16,859,000	0.2%
300	NOLN	Northline Center	Northline - New Academic Ctr.	80,500	\$	38,000	\$	21,121,000	0.2%
300	PINE	Pinemont Campus	Pinemont Hall	51,368	\$	2,094,000	\$	11,469,000	18.3%
300	PSI	Codwell Hall Campus	Public Safety Institute	11,000	\$	37,000	\$	16,898,000	0.2%
300	CTDC	Codwell Hall Campus	Roland Smith Truck Driving Ctr.	13,000	\$	52,000	\$	7,613,000	0.7%
300	STECH	Codwell Hall Campus	NE Science and Tech. Bldg	46,800	\$	45,000	\$	10,020,000	0.4%
300	CHPP	Codwell Hall Campus	Phys. Plant (Science Stor Bldg)	10,432	\$	16,000	\$	1,824,000	0.9%
400	KAML	Katy Mills Mall	Early Childhood Development	8,050	\$	54,000	\$	2,048,000	2.6%
400	COMM	Spring Branch Campus	Commons / Bookstore	8,576	\$	-	\$	1,515,000	0.0%
400	PAC	Spring Branch Campus	Performing Arts Center	36,750	\$	1,583,000	\$	8,442,000	18.8%
400	SCIB	Spring Branch Campus	Science Building	19,417	\$	641,000	\$	5,294,000	12.1%
400	SPBR	Spring Branch Campus	Spring Branch (Town & Country)	32,306	\$	2,422,000	\$		22.4%
400	KATY	Katy Campus	Westgate Center	108,503	\$	7,843,000	\$		36.3%
500	AM	Eastside Campus	Angela Morales Building	65,000	\$	478,000		2,749,000	17.4%
500	ESAN	Eastside Campus	Eastside Annex	25,300	\$	90,000		5,660,000	1.6%
500	FM	Eastside Campus	Felix Morales Building	54,345	\$	68,000	\$		0.6%
500	FFAC	Eastside Campus	Felix Fraga Academic	69,100	\$	00,000	\$		0.0%
	OFFCTY				₽ \$	25.000			
500		Eastside Campus	Office City	8246	-	35,000	\$ ¢	2,571,000	1.4%
500	SELH	Eastside Campus	Southeast Learning Hub	90,213	\$ ¢	161,000	\$ ¢		1.0%
500	TEMP1	Eastside Campus	Temp. Classrms (2 Bldgs.)	2816	\$	83,000	\$	140,000	59.3%
500	TEMP2	Eastside Campus	Temp. Classrms (6 Bldgs.)	2,859	\$	84,000		140,000	60.0%
600	ACEU	Alief Continuing Educ. Ctr.	Alief	43,000	\$	133,000		9,780,000	1.4%
600	MOCC	Missouri City Campus	Academic Ctr Sienna Plantation	48,456	\$	35,000	\$		0.3%
600	ATC	Applied Technology Center	Applied Techn. Ctr. (2 Bldgs.)	18,088	\$	519,000		4,739,000	11.0%
600	GRNB	Southwest Center	Greenbriar Annex	17,100	\$	-		3,848,000	0.7%
600	GULF	Gulfton Center Campus	Gulfton Center	35,500	\$	92,000		7,577,000	1.2%
600	ALIF	Alief Campus	Alief Campus (Hayes Road)	385,000	\$	17,118,000	\$	65,968,000	25.9%
600	STF2	Scarcella Center	Scarcella Science & Tech. Ctr.	75,000	\$	989,000	\$	16,102,000	6.1%
600	STAF	Stafford Campus	Stafford Campus (7 Bldgs.)	57,230	\$	2,833,000	\$	9,777,000	29.0%
600	STF3	Scarcella Center	SW Stafford Learning Hub	120,000	\$	49,000	\$	26,390,000	0.2%
600	WLOP	West Loop Center	West Loop Center	199,451	\$	4,791,000	\$	33,497,000	14.3%
700	CHSC	Coleman Health Science Ctr.	Coleman Health Science Ctr.	140,000	\$	623,000	\$	37,081,000	1.7%





The required repairs and maintenance items were categorized into the five main categories. These categories and their corresponding total budgetary costs for all buildings combined are provided in the Table below.

Facility Repair Aspect	Total Repair Costs
ADA & Life Safety	\$1 million
Architecture & Interior	\$4 million
Site Infrastructure	\$5.4 million
Mechanical	\$70 million
Electrical	\$23.5 million
Plumbing	\$3 million
Landscape	\$1 million
Total Repair Cost	\$108 million

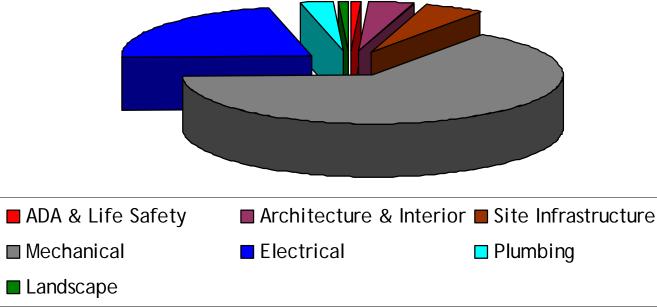
Based on our study, a deferred maintenance budget and schedule is recommended for adoption by HCC. This recommendation, if adopted, will enable the existing facilities to be brought to a good condition within a period of four years. This will require the following deferred maintenance budgets:

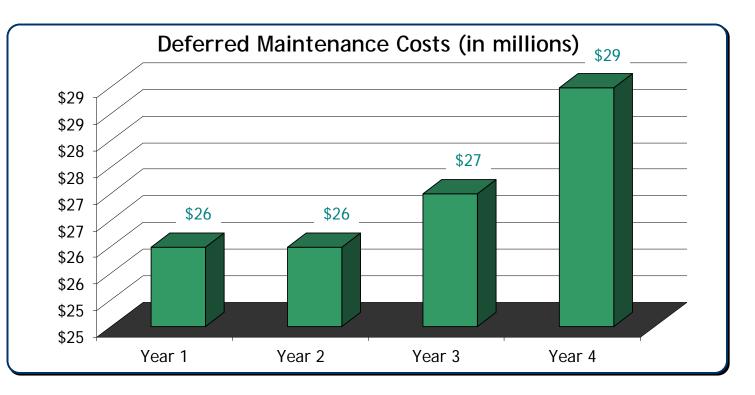
Year 1	\$26 million
Year 2	\$26 million
Year 3	\$27 million
Year 4	\$29 million

A summary of the recommendations is presented in **Section 5**. The key findings of this study are:

- The missing drawings and information should be completed to enable the facilities information archival to be complete and comprehensive.
- Implement the recommended construction document archival and retrieval processes.
- A total of 54 facilities were surveyed. The buildings were spread over 22 campuses. The total gross area of the buildings was approximately 4.1 million square feet. The buildings and component conditions were observed and the required repairs for each building were recorded.









Plumbing

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- The data on facilities and the recommended repairs are detailed in the text of this report and ٠ also presented in an electronic database. The total cost of repairs is about \$108 million.
- Majority of the identified repair costs are for the mechanical systems. Electrical systems repair ٠ is also a significant cost.
- A deferred maintenance budget and schedule is recommended that will enable HCC to complete • all the identified repairs in four years and bring all the HCC facilities to standards.
- Facilities require on-going maintenance and upkeep to maintain their functionality, intended use, ٠ and asset value. The existing HCC facilities require a budget of \$15 to \$28 million annually to maintain them to the present standards.
- Additional issues identified with the facilities include, in general, a lack of adequate parking; a need to increase, improve, and standardize campus and building signage; an improvement of campus entry ways; and utilize HCC facilities and buildings as a branding tool to improve visibility and identity;









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SECTION 1 FACILITIES DATA RETRIEVAL AND DOCUMENTATION PROCESS



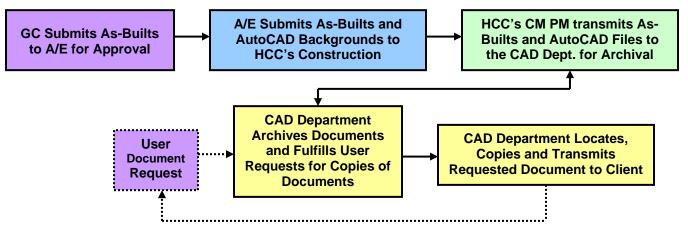


SECTION 1: FACILITIES DATA RETRIEVAL AND DOCUMENTATION PROCESS

Current HCC Construction Document Archival and Retrieval Process

Currently, Houston Community College (HCC) contractually requires all A/Es and General Contractors to provide record drawings to HCC's Construction Management Department as part of its project closeout procedure. Construction Management's CAD department is ultimately responsible for the archiving and retrieving of record drawings.

The following flowchart illustrates the chain of responsibility for these documents.



Definition of Terms

CM:

HCC: Houston Community College

Construction Management

GC: General Contractor **A/E**: Architect / Engineer

PM: Project or Program Manager

CAD: Computer-Aided Design

As-Builts: Construction Documents revised in the field by the GC to depict actual field conditions as constructed.

Observed Deficiencies with HCC's Construction Documents Archival and Retrieval Process

The observed Archival and Retrieval Process currently utilized by HCC Construction Management is logical in its concept. There are, however, significant deficiencies in its execution. The primary issues negatively impacting the CAD Department's ability to efficiently service its client's needs are outlined below.

1. Limited Archival Space for Physical Documentation

Currently the CAD Department is responsible for storing the following documentation for the entirety of the Houston Community College System.

Milestone Design Sign-Off Documents O& M Manuals Deeds Tenant Leases PDF Scans

As-Built Construction Documents Construction Contracts Appraisals AutoCAD Drawing Files

Their current allotted storage space has been greatly exceeded. As a result, documents are being stacked on the floor, on top of flat files, out in the corridor, in file cabinets in other offices, etc.

Solution: The allocation of additional adjacent storage space for active files and off-site storage space for inactive files would solve this issue.

Inadequate Storage Furniture / Units for Physical Documentation

The number, type and configuration of existing storage units are inefficient. Valuable floor and wall space is underutilized the way storage units are currently configured.

Solution: The existing space can be more effectively utilized through additional storage units more compactly and efficiently arranged.

In speaking with the CAD Manager, Alden Tiggs, there is an organizational system where by documents are archived. However, he stated that due to limited space and a limited number of storage units, the system cannot be properly implemented. He has to primarily depend on memory to locate documents that can't be stored in its logical location due to space limitation. This issue cannot be resolved without first correcting the space and storage unit issues.

Solution: Resolve the storage space and storage unit issues and fully implement a cataloging and tagging system.

Proposed Corrective Actions to HCC's Construction Documents Archival and Retrieval Process

Although HCC Construction Management's current Archival and Retrieval Process is logical, it is not comprehensive. In order for the process to be comprehensive and verifiable, it has to be inclusive of all project participants. The process must begin with and be clearly defined in the initial consultant contracts through the Construction Administration and Close-Out Phase of the project.

Below, we have outlined what we believe are positive, proactive processes which both ensure hand-off verification and chain of responsibility.

1. Include requirements for Milestone, As-Built and Closeout Documentation in all design, consultant and construction contracts.

- i. dates and 'chain of responsibility' for hand-off of these documents.
- ii. and receiving the documents.
- iii.



No Effective Comprehensive Cataloging and Tagging System for Physical Documentation

These requirements should define documentation format, number of copies, delivery

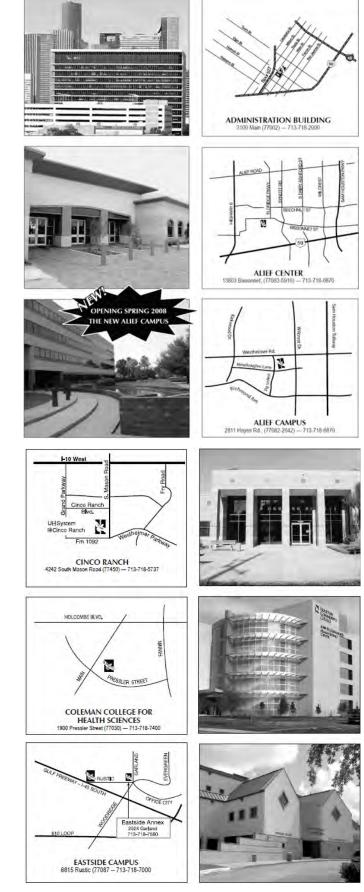
The contracts should list those individuals or positions responsible for both transmitting

Delivery and positive hand-off of these documents should be tied to the consultants payment schedule; i.e., unless a signed transmittal showing delivery of the document is included with the consultant's invoice, the payment does not get processed.

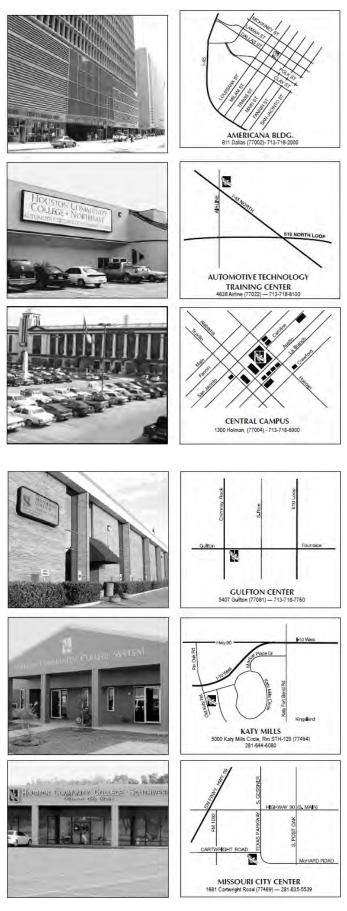


2. Clearly identify each document via a prominently displayed Control Number.

- i. The Control Number should be an absolute, logical number generated and tracked by HCC.
- ii. The Control Number should be included in and displayed on all project-related documentation.
- iii. It should be prominently displayed on any and all consultant-generated, project-related documentation and distinct from any departmental or project number generated by any entity outside of HCC Construction Management. This will eliminate confusion between similarly-named projects or multiple projects involving the same facility. This also facilitates the possibility of implementing barcode or sensor document tracking if so desired by HCC.
- 3. <u>Maximize Electronic Documentation and Reproduction and reduce paper where possible.</u> As previously identified, HCC's archival storage space is at maximum capacity. There are several means of decreasing the need for additional space and maximizing current space utilization.
 - i. Audit the existing documents and identify those documents which are outdated or duplicates and have them destroyed.
 - ii. Identify those documents which need to be retained and have them scanned to an electronic format such as an Adobe PDF file. Of those documents that need to be retained, a certain percentage will only be needed for reference. These can be scanned and the paper originals destroyed. Those documents with special legal or historical significance can be retained in a physical file.
 - iii. Purchase larger-scale displays and plotters to assist in fast, accurate identification and retrieval of electronic documentation from the electronic archives. This eliminates the majority of need for the archivist to pull physical documents from storage in order to provide clients with requested reference material.







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SECTION 2 FACILITIES CONDITION ASSESSMENT METHODOLOGY AND DATA





SECTION 2: FACILITIES CONDITION ASSESSMENT METHODOLOGY AND DATA

To maximize return on investment of facility assets, Houston Community College (HCC) must have good information on the distinctive facility elements and status of the assets. A detailed inventory of the facilities, and the components of the facilities, are imperative and form the basis for preventive maintenance, predictive maintenance, space utilization, and capital asset replacement analysis.

There are several purposes for HCC to conduct the facilities condition assessment program. The primary purposes were to:

- Gain a better understanding of the facilities and systems under operation and use;
- Identify the maintenance backlog and determine priorities;
- Identify impending deficiencies before they become major problems;
- Minimize system downtime;
- Extend the useful life of the facility;
- Maximize energy efficiency;
- Help maintain asset value;
- Identify short and long-term issues for capital planning and renewal (promote the deferred maintenance program and maintenance back-log);
- Assist in building transactions such as "due diligence";
- Provide better service to students and staff;
- Improve communication among maintenance personnel, facility managers, consultants, and management;
- Improve maintenance and repair scheduling;

The primary means of conducting the assessments were to retrieve the existing facility data from the archive, physically survey the buildings and components, interview the maintenance and administrative staff whenever possible, and discuss the existing maintenance records.

Assessment Methodology

ESPA CORP team's assessment methodology involved organizing the field assessment team into system teams (architecture / structural, civil infrastructure, MEP and equipment, and landscape). These teams then familiarized themselves with the facilities and systems based on the facility information and data retrieved from HCC. The next steps entailed scheduling facility visits, conducting the facilities walk-through, having discussions with facility maintenance personnel, recording the observed deficiencies, and organizing the data to identify the repair and maintenance costs.

Accordingly, the field assessment personnel were organized into three sets of distinct teams:

- Architecture and Structure Teams
- Mechanical, Electrical and Plumbing Teams, and
- Civil Infrastructure and Landscape Architecture Teams

Each team was composed of at least two qualified professionals experienced in performing the assessment. These teams of professionals were provided the available data, information, location of the buildings, and their components.

When the teams were ready, the field assessment was scheduled, in cooperation with the HCC management personnel. The length of the field visit and assessment depended on the size of the facility and the number of facilities within a campus. Each of the building and the associated systems were carefully assessed and the deficiencies were noted. Where possible, photographs of the building components and systems were taken. Additional information on working conditions and maintenance was gathered during discussions with the facility maintenance and operations personnel. The field notes and photographs were carefully organized and filed for analysis and reporting.

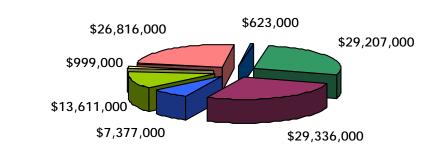
Assessment Data

HCC facilities consist of 54 buildings spread over 22 campuses. The map on page 7 shows of the approximate location of HCC facilities.

The detailed field assessment data and the photographs are presented in Volume 2 of this report. The assessment data for each building is presented in Section 5 of this report. The first page of each building report presents the building information, observed deficiencies by system, along with the building location and an external photograph. The second page presents a detailed list of building deficiencies along with a budgetary hard cost to correct the deficiency. Only construction costs are listed in these reports. The "soft" costs, such as design costs, are not included in this table. These costs were developed using the latest (2009 Quarter 3) unit construction and material costs offered in RS Means Construction Works database specific to the Houston area. Also, these costs do not include modernization or building alteration to address functional adequacy.

The Table below presents a summary of the repair costs by College. Detailed cost information is presented in subsequent pages and sections of this report.

Repair Hard Costs by College





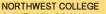


Northeast CollegeSouthwest College



Facilities Condition Assessment Report **HOUSTON COMMUNITY COLLEGE** SECTION 2: FACILITIES CONDITION ASSESSMENT METHODOLOGY & DATA

FACILITIES LOCATION MAP



- 1 KATY MILLS MALL 2 - PERFORMING ARTS CENTER
- 3 SCIENCE BUILDING
- 4 SPRING BRANCH (TOWN & CNTRY CTR.) 5 - WESTGATE CENTER

HCC

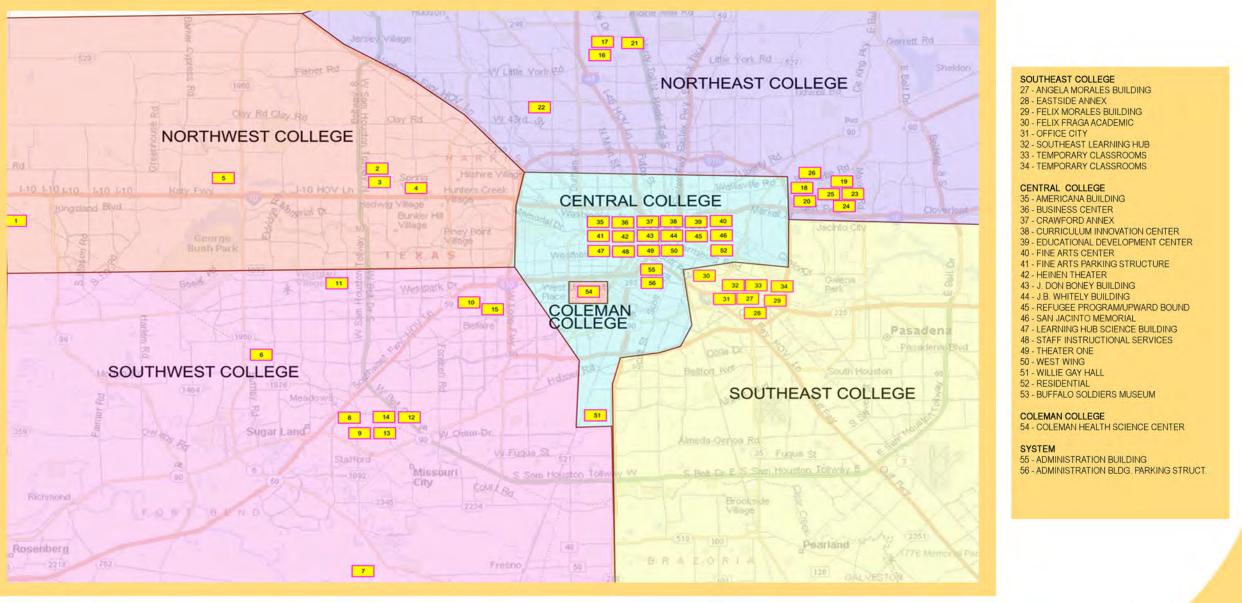
SOUTHWEST COLLEGE

6 - ALIEF CONTINUING EDUCATION CENTER

- 7 ACADEMIC CENTER SIENNA PLANTATION
- 8 APPLIED TECHNOLOGY CENTER 9 - GREENBRIAR ANNEX.
- **10 GULFTON CENTER**
- 11 ALIEF CAMPUS
- 12 SCARCELLA SCIENCE & TECH CTR.
- 13 STAFFORD CAMPUS
- 14 SOUTHWEST STAFFORD LEARNING HUB
- 15 WEST LOOP CENTER

NORTHEAST COLLEGE

- 16 AUTOMOTIVE TECH. TRAINING CTR. BLDG-A
- 17 AUTOMOTIVE TECH. TRAINING CTR. BLDG-B
- 18 CODWELL HALL
- 19 CODWELL HALL SHOWER 20 - LEARNING HUB AT NORTHEAST
- 21 NORTHLINE-NEW ACADEMIC CENTER
- 22 PINEMONT HALL
- 23 PUBLIC SAFETY INSTITUTE
- 24 ROLAND SMITH TRUCK DRIVING CTR.
- 25 NORTHEAST SCIENCE AND TECH. BLDG.
- 26 SCIENCE STORAGE BUILDING



7





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Houston Community College Facilities Assessment Repair Hard Costs With Costs Per Square Foot

100 100	Code	Campus Name	Facility Name	Cost	Architectural Cost	Civil Cost	Mech Cost	Elec Cost	Plumb Cost	Landscape Cost	Architectural Cost	Civil Cost	MEP Cost	Repair Hard Costs	Facility Gross SFTG	Cost Per SF
	SYSP	Administration	Parking Structure	\$ 20,000	\$ 2,000	\$ - 5	\$ 199,000	\$ 123,000	\$-	\$ -	Cost \$-	\$ -	S -	\$ 344,000	488,660 \$	0.7
	SYSB	Administration		\$ 24,000	\$ 69,000	\$ 685,000		\$ 5,225,000	\$ -	\$-	\$-	\$ -	\$-	\$ 28,863,000	531,000 \$	54.36
200	AMER	Americana Bldg		\$ -	\$ -	\$ - 9	6 -	\$ -	\$ -	\$ -	\$ 36,000	\$ -	\$ -	\$ 36,000	30,000 \$	1.20
200	BSCC	Central Campus	Business Center	\$ 11,000	\$ 232,000	\$ 2,000	\$ 853,000	\$ 587,000	\$ 180,000	\$-	\$ 17,000	\$-	\$-	\$ 1,882,000	36,680 \$	51.31
200	CRAW	Central Campus	Crawford Annex	\$ 9,000	\$ 12,000	\$ - 5	\$ 27,000	\$ 12,000	\$-	\$ 2,000	\$-	\$-	\$-	\$ 62,000	1,200 \$	51.67
200	CIC	Central Campus	Curriculum Innovation Center	\$ 11,000	\$ 9,000	\$ 2,000	\$ 66,000	\$ 32,000	\$ 10,000	\$-	\$-	\$-	\$-	\$ 130,000	2,000 \$	65.00
200	EDC	Central Campus	Educational Development Ctr.	\$ 34,000	\$ 84,000	\$ 7,000 \$	\$ 678,000	\$ 402,000	\$-	\$ 1,000	\$-	\$-	\$-	\$ 1,206,000	40,845 \$	29.53
200	FAC	Central Campus	Fine Arts Center	\$ 21,000	\$ 597,000	\$ 1,000 \$	\$ 1,245,000	\$ 461,000	\$ 92,000	\$-	\$-	\$-	\$-	\$ 2,417,000	75,000 \$	32.23
200	FACP	Central Campus	Fine Arts Parking Structure	\$ 17,000	\$-	\$ - 9	- 6	\$ 53,000	\$ 24,000	\$-	\$-	\$-	\$-	\$ 94,000	213,900 \$	0.44
200	HEINEN	Central Campus	Heinen Theater	\$ 2,000	\$ 144,000	\$ 3,000 \$	\$ 221,000	\$ 177,000	\$ 221,000	\$-	\$ 69,000	\$-	\$-	\$ 837,000	18,000 \$	46.50
200	JDB	Central Campus	J. Don Boney Building	\$ 11,000	\$ 168,000	\$ 6,000 \$	\$ 930,000	\$ 560,000	\$ 172,000	\$-	\$ 17,000	\$-	\$-	\$ 1,864,000	35,000 \$	53.26
200	JBW	Central Campus	J.B. Whitely Bldg.	\$ 34,000	\$ 343,000	\$ - 3	\$ 2,760,000	\$ 1,656,000	\$ 502,000	\$ 1,000	\$ 22,000	\$-	\$ 125,000	\$ 5,443,000	102,000 \$	53.36
200	SJAC	Central Campus	San Jacinto Memorial	\$ 40,000	\$ 1,105,000	\$ 29,000	\$ 6,347,000	\$ 2,962,000	\$ 423,000	\$-	\$ 31,000	\$	\$ 212,000	\$ 11,149,000	172,000 \$	64.82
200	LHSB	Central Campus	Learning Hub Science Building	\$ 22,000	\$-	\$ 1,000 \$	6 -	\$-	\$-	\$ 1,000	\$-	\$-	\$-	\$ 24,000	120,000 \$	0.20
200	SIS	Central Campus	Staff Instructional Services	\$ 47,000	\$ 133,000	\$ 3,000 \$	\$ 938,000	\$ 215,000	\$ 54,000	\$-	\$ 14,000	\$-	\$ 27,000	\$ 1,431,000	21,800 \$	65.64
200	THT1	Central Campus	Theater One	\$-	\$ 79,000	\$ 3,000 \$	\$ 943,000	\$ 269,000	\$ 162,000	\$-	\$ 77,000	\$-	\$ 27,000	\$ 1,560,000	21,900 \$	71.23
200	WW	Central Campus	West Wing	\$ 4,000	\$-	\$ - \$	- 6	\$-	\$-	\$-	\$-	\$-	\$-	\$ 4,000	60,500 \$	0.07
200	GAYHL	Willie Gay Hall	Willie Gay Hall	\$ 36,000	\$ 10,000	\$ 55,000 \$	- 6	\$-	\$-	\$-	\$-	\$-	\$-	\$ 101,000	39,000 \$	2.59
300	TRANSA	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg A	\$ 18,000	\$ 110,000	\$ 656,000	\$ 1,518,000	\$ 792,000	\$ 132,000	\$-	\$ 24,000	\$-	\$ 66,000	\$ 3,316,000	53,658 \$	61.80
300 -	TRANSB	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg B	\$ 18,000	\$ 16,000	\$ 656,000	\$ 543,000	\$ 272,000	\$ 68,000	\$-	\$ 24,000	\$-	\$ 23,000	\$ 1,620,000	18,401 \$	88.04
300	CODW	Codwell Hall Campus	Codwell Hall	\$ 31,000	\$ 28,000	\$ 38,000 \$	6 -	\$ 28,000	\$-	\$ 1,000	\$-	\$-	\$-	\$ 126,000	76,000 \$	1.66
300	BLDG4	Codwell Hall Campus	Codwell Hall Shower (Temp)	\$-	\$-	\$ - 9	6 -	\$-	\$ 5,000	\$-	\$-	\$-	\$-	\$ 5,000	1,325 \$	3.77
300	LHUB	Codwell Hall Campus	Learning Hub at Northeast	\$ 21,000	\$-	\$ 7,000 \$	6 -	\$-	\$-	\$-	\$-	\$-	\$-	\$ 28,000	90,000 \$	0.31
300	NOLN	Northline Center	Northline - New Academic Ctr.	\$ 34,000	\$-	\$ 3,000 \$	6 -	\$-	\$-	\$-	\$-	\$-	\$-	\$ 38,000	80,500 \$	0.47
300	PINE	Pinemont Campus	Pinemont Hall	\$ -	\$ 8,000	\$ 1,000	\$ 1,516,000	\$ 569,000	\$-	\$-	\$-	\$-	\$-	\$ 2,094,000	51,368 \$	40.76
300	PSI	Codwell Hall Campus	Public Safety Institute	\$ 21,000	\$-	\$ 15,000 \$	6 -	\$-	\$-	\$ 1,000	\$-	\$-	\$-	\$ 37,000	11,000 \$	3.36
300	CTDC	Codwell Hall Campus	Roland Smith Truck Driving Ctr.	\$ 19,000	\$ 5,000	\$ 2,000 \$	\$ 16,000	\$ 10,000	\$-	\$-	\$-	\$-	\$-	\$ 52,000	13,000 \$	4.00
300	STECH	Codwell Hall Campus	NE Science and Tech. Bldg	\$ 11,000	\$-	\$ 34,000 \$	6 -	\$-	\$-	\$-	\$-	\$-	\$-	\$ 45,000	46,800 \$	0.96
300	CHPP	Codwell Hall Campus	Phys. Plant (Science Stor Bldg)	\$ 9,000	\$-	\$ 7,000 \$	ş -	\$-	\$-	\$-	\$-	\$-	\$-	\$ 16,000	10,432 \$	1.53
400	KAML	Katy Mills Mall	Early Childhood Development	\$ 27,000	\$ 10,000	\$ 17,000 \$	6 -	\$-	\$-	\$-	\$-	\$-	\$-	\$ 54,000	8,050 \$	6.71
400	COMM	Spring Branch Campus		\$ -	\$ -	\$ - 9	6 -	\$ -	\$-	\$ -	\$-	\$	\$-	\$ -	8,576 \$	-
400	PAC	Spring Branch Campus	Performing Arts Center	\$ 26,000	\$ 260,000	\$ 150,000 \$	\$ 719,000	\$ 392,000	\$-	\$-	\$ 36,000	\$-	\$ -	\$ 1,583,000	36,750 \$	43.07
400	SCIB	Spring Branch Campus	Science Building	\$ 47,000	\$ 1,000	\$ 235,000 \$	\$ 119,000	\$ 239,000	\$-	\$ -	\$-	\$-	\$-	\$ 641,000	19,417 \$	33.01
400	SPBR	Spring Branch Campus	Spring Branch (Town & Country)	\$ 38,000	\$ 13,000	\$ 233,000 \$	\$ 748,000	\$ 1,389,000	\$-	\$ 1,000	\$-	\$	\$ -	\$ 2,422,000	32,306 \$	74.97
400	KATY	Katy Campus	Westgate Center	\$ 20,000	\$ 274,000	\$ 1,409,000	\$ 4,271,000	\$ 1,201,000	\$ 667,000	\$ 1,000	\$-	\$-	\$-	\$ 7,843,000	108,503 \$	72.28
500	AM	Eastside Campus	Angela Morales Building	\$ 14,000	\$ 37,000	\$ 27,000 \$	\$ 400,000	\$-	\$-	\$-	\$-	\$-	\$-	\$ 478,000	65,000 \$	7.35
500	ESAN	Eastside Campus	Eastside Annex	\$ 22,000	\$ 40,000	\$ 28,000 \$	6 -	\$-	\$-	\$-	\$-	\$-	\$-	\$ 90,000	25,300 \$	3.56
500	FM	Eastside Campus	Felix Morales Building	\$ 14,000	\$ 28,000	\$ 26,000 \$	6 -	\$-	\$-	\$-	\$-	\$-	\$-	\$ 68,000	54,345 \$	1.25
500	FFAC	Eastside Campus	Felix Fraga Academic	\$-	\$-	\$ - 9	5 -	\$-	\$-	\$-	\$-	\$-	\$-	\$-	69,100 \$	-
500	OFFCTY	Eastside Campus	Office City	\$-	\$ 28,000	\$ 7,000 \$	ş -	\$-	\$-	\$-	\$-	\$-	\$-	\$ 35,000	8246 \$	4.24
500	SELH	Eastside Campus	Southeast Learning Hub	\$ 6,000	\$-	\$ 155,000 \$	6 -		\$-	\$-	\$-	\$-	\$-	\$ 161,000	90,213 \$	1.78
500	TEMP1	Eastside Campus	Temp. Classrms (2 Bldgs.)	\$-	\$-	\$ - 9	\$ 62,000	\$ 21,000	\$-	\$-	\$-	\$-	\$-	\$ 83,000	2816 \$	29.47
500	TEMP2	Eastside Campus	Temp. Classrms (6 Bldgs.)	\$-	\$-	\$ - 5		\$ 21,000	\$-	\$-	\$-	\$-	\$-	\$ 84,000	2,859 \$	
600	ACEU	Alief Continuing Educ. Ctr.	Alief	\$ 35,000	\$-	\$ 98,000	6 -			\$-	\$-	\$-	\$-	\$ 133,000	43,000 \$	3.09
600	MOCC	Missouri City Campus	Academic Ctr Sienna Plantation	\$ 28,000		\$ 7,000 \$	6 -	\$-	\$-	\$-	\$-	\$-	\$-	\$ 35,000	48,456 \$	
600	ATC	Applied Technology Center		\$ -	\$-	\$ 7,000	\$ 267,000	\$ 156,000	\$ 67,000	\$ -	\$-	\$-	\$ 22,000	\$ 519,000	18,088 \$	28.69
600	GRNB	Southwest Center	Greenbriar Annex	\$-	\$-	\$ 20,000 \$		\$ -	\$-	\$-	\$-	\$-	\$ 8,000		17,100 \$	
600	GULF	Gulfton Center Campus	Gulfton Center	\$ 39,000	\$ 25,000	\$ 4,000 \$	6 -	\$-	\$-	\$-	\$ 24,000	\$-	\$-	\$ 92,000	35,500 \$	
600	ALIF	Alief Campus	Alief Campus (Hayes Road)	\$ 23,000			\$ 14,207,000	\$ 2,841,000	\$-	\$ -		\$-	\$ 47,000	\$ 17,118,000	385,000 \$	
600	STF2	Scarcella Center		\$ 45,000	\$ 11,000	\$ 10,000	\$ 923,000			\$ -	\$-	\$-	\$ -	\$ 989,000	75,000 \$	
600	STAF	Stafford Campus	Stafford Campus (7 Bldgs.)	\$ 30,000	\$ 79,000	\$ 705,000	\$ 1,056,000	\$ 704,000	\$ 211,000	\$-	\$ 48,000	\$-	\$-	\$ 2,833,000	57,230 \$	
600	STF3	Scarcella Center		\$ 43,000		\$ 6,000 \$	6 -	\$ -	\$-	\$ -		\$-	\$-	\$ 49,000	120,000 \$	
	WLOP	West Loop Center	5	\$ 34,000	\$ 89,000		\$ 3,680,000	\$ 981,000	\$-	\$ -	\$-	\$-	\$ -	\$ 4,791,000	199,451 \$	
700	CHSC	Coleman Health Science Ctr.	Coleman Health Science Ctr.	\$ 12,000	\$ 6,000	\$ 2,000 \$			\$-	\$-	\$-	\$-	\$-	\$ 623,000	140,000 \$	4.45
Building To	otal(s)			\$ 1,028,000	\$ 4,055,000	\$ 5,369,000	68,261,000	\$ 22,867,000	\$ 2,990,000	\$ 9,000	\$ 439,000	\$-	\$ 557,000	\$ 105,576,000	4,132,275 \$	25.55
Surface Pa	arking To	tal(s)												\$ 2,393,000	1,497,593 \$	1.60
	Surface	Parking Total(s)												\$ 107,969,000		





Houston Community College Facilities Assessment Repair Hard Costs By College

College Code	Building Code	College Name	Facility Name	Landscape Cost	Architectural Cost	Civil Cost	Mech Cost	Elec Cost	Plumb Cost	ADA/LS Landscape Cost	ADA/LS Architectural Cost	ADA/LS Civil Cost	ADA/LS MEP Cost	Surface Parking Cost	Repair Hard Costs	Total Replacement Hard Costs
100	-	System	100	\$ 44,000	\$ 71,000	\$ 685,000	\$ 23,059,000	\$ 5,348,000	\$-	\$-	\$-	\$-	\$-	\$-	\$ 29,207,000	\$ 97,657,000
200	-	Central	200	\$ 299,000	\$ 2,916,000	\$ 112,000	\$ 15,008,000	\$ 7,386,000	\$ 1,840,000	\$ 5,000	\$ 283,000	\$-	\$ 391,000	\$ 1,096,000	\$ 29,336,000	\$ 148,604,000
300	-	Northeast	300	\$ 182,000	\$ 167,000	\$ 1,419,000	\$ 3,593,000	\$ 1,671,000	\$ 205,000	\$ 2,000	\$ 48,000	\$ -	\$ 89,000	\$-	\$ 7,377,000	\$ 113,248,000
400	-	Northwest	400	\$ 158,000	\$ 558,000	\$ 2,044,000	\$ 5,857,000	\$ 3,221,000	\$ 667,000	\$ 2,000	\$ 36,000	\$ -	\$ -	\$ 1,068,000	\$ 13,611,000	\$ 49,697,000
500	-	Southeast	500	\$ 56,000	\$ 133,000	\$ 243,000	\$ 525,000	\$ 42,000	\$ -	\$-	\$-	\$ -	\$ -	\$-	\$ 999,000	\$ 52,078,000
600	-	Southwest	600	\$ 277,000	\$ 204,000	\$ 864,000	\$ 20,133,000	\$ 4,682,000	\$ 278,000	\$-	\$ 72,000	\$-	\$ 77,000	\$ 229,000	\$ 26,816,000	\$ 188,087,000
700	-	Colleman	700	\$ 12,000	\$ 6,000	\$ 2,000	\$ 86,000	\$ 517,000	\$ -	\$-	\$-	\$ -	\$-	\$-	\$ 623,000	\$ 37,081,000

Houston Community College Facilities Assessment Repair Hard Costs By Campus

College Code	Building Code	Campus Name	Facility Name	Landscape Cost	Architectural Cost	Civil Cost	Mech Cost	Elec Cost	Plumb Cost	ADA/LS Landscape Cost	ADA/LS Architectural Cost	ADA/LS Civil Cost	ADA/LS MEP Cost	Surface Parking Cost	Repair Hard Costs	Total Replacement Hard Costs
100	-	Administration	-	\$ 44,000	\$ 71,000	\$ 685,000	\$ 23,059,000	\$ 5,348,000	\$ -	\$-	\$-	\$ - \$	-	\$-	\$ 29,207,000	\$ 97,657,000
200	-	Americana Bldg	-	\$-	\$-	\$-	\$-	\$-	\$ -	\$-	\$ 36,000	\$ - \$	-	\$-	\$ 36,000	\$ 5,161,000
200	-	Central Campus	-	\$ 263,000	\$ 2,906,000	\$ 57,000	\$ 15,008,000	\$ 7,386,000	\$ 1,840,000	\$ 5,000	\$ 247,000	\$ - \$	391,000	\$-	\$ 28,103,000	\$ 134,372,000
200	-	Willie Gay Hall	-	\$ 36,000	\$ 10,000	\$ 55,000	\$-	\$-	\$ -	\$-	\$-	\$ - \$	-	\$-	\$ 101,000	\$ 9,071,000
300	-	Automotive Tech.Training Ctr.	-	\$ 36,000	\$ 126,000	\$ 1,312,000	\$ 2,061,000	\$ 1,064,000	\$ 200,000	\$-	\$ 48,000	\$ - \$	89,000	\$-	\$ 4,936,000	\$ 12,063,000
300	-	Codwell Hall Campus	-	\$ 146,000	\$ 41,000	\$ 107,000	\$ 1,532,000	\$ 607,000	\$ 5,000	\$ 2,000	\$-	\$ - \$	-	\$-	\$ 2,441,000	\$ 101,185,000
300	-	Northline Center	-	\$ 34,000	\$-	\$ 3,000		\$-	\$ - 3	\$-	\$-	\$ - \$	-	\$-	\$ 38,000	\$ 21,121,000
300	-	Pinemont Campus	-	\$-	\$ 8,000	\$ 1,000	\$ 1,516,000	\$ 569,000	\$ -	\$-	\$-	\$ - \$	-	\$-	\$ 2,094,000	\$ 11,469,000
400	-	Katy Mills Mall	-	\$ 27,000	\$ 10,000	\$ 17,000		\$-	\$ - :	\$-	\$-	\$-\$	-	\$-	\$ 54,000	\$ 2,048,000
400	-	Spring Branch Campus	-	\$ 111,000	\$ 274,000	\$ 618,000	\$ 1,586,000	\$ 2,020,000	\$ -	\$ 1,000	\$ 36,000	\$ - \$	-	\$-	\$ 4,646,000	\$ 26,043,000
400	-	Katy Campus	-	\$ 20,000	\$ 274,000	\$ 1,409,000	\$ 4,271,000	\$ 1,201,000	\$ 667,000	\$ 1,000	\$-	\$ - \$	-	\$-	\$ 7,843,000	\$ 21,606,000
500	-	Eastside Campus	-	\$ 56,000	\$ 133,000	\$ 243,000	\$ 525,000	\$ 42,000	\$ -	\$-	\$-	\$ - \$	-	\$-	\$ 999,000	\$ 52,078,000
600	-	Alief Continuing Educ. Ctr.	-	\$ 35,000	\$-	\$ 98,000	\$-	\$-	\$ -	\$-	\$-	\$ - \$	-	\$-	\$ 133,000	\$ 9,780,000
600	-	Missouri City Campus	-	\$ 28,000	\$-	\$ 7,000	\$-	\$-	\$ -	\$-	\$-	\$ - \$	-	\$-	\$ 35,000	\$ 10,409,000
600	-	Applied Technology Center	-	\$-	\$-	\$ 7,000	\$ 267,000	\$ 156,000	\$ 67,000	\$-	\$-	\$ - \$	22,000	\$-	\$ 519,000	\$ 4,739,000
600	-	Southwest Center	-	\$-	\$-	\$ 20,000	\$-	\$-	\$ - 3	\$-	\$-	\$ - \$	8,000	\$-	\$ 28,000	\$ 3,848,000
600	-	Gulfton Center Campus	-	\$ 39,000	\$ 25,000	\$ 4,000	\$-	\$-	\$ -	\$-	\$ 24,000	\$ - \$	-	\$-	\$ 92,000	\$ 7,577,000
600	-	Alief Campus	-	\$ 23,000	\$-	\$-	\$ 14,207,000	\$ 2,841,000	\$ -	\$-	\$-	\$ - \$	47,000	\$-	\$ 17,118,000	\$ 65,968,000
600	-	Scarcella Center	-	\$ 88,000	\$ 11,000	\$ 16,000	\$ 923,000	\$ -	\$ -	\$-	\$-	\$ - \$	-	\$-	\$ 1,038,000	\$ 42,492,000
600	-	Stafford Campus	-	\$ 30,000	\$ 79,000	\$ 705,000	\$ 1,056,000	\$ 704,000	\$ 211,000	\$-	\$ 48,000	\$ - \$	-	\$-	\$ 2,833,000	\$ 9,777,000
600	-	West Loop Center	-	\$ 34,000	\$ 89,000	\$ 7,000	\$ 3,680,000	\$ 981,000	\$ -	\$-	\$-	\$ - \$	-	\$-	\$ 4,791,000	\$ 33,497,000
700	-	Coleman Health Science Ctr.	-	\$ 12,000	\$ 6,000	\$ 2,000	\$ 86,000	\$ 517,000	\$ -	\$-	\$-	\$ - \$	-	\$-	\$ 623,000	\$ 37,081,000





Houston Community College Facilities Assessment Surface Parking Repair Hard Costs

College Code	Building Code	Campus Name	Surface Parking Lot Name	Su	rface Parking Repair Hard Costs	Surface Parking Total Replacement Hard Costs	Surface Parking FCI (Facilities Cost Index)	Surface Parking Acreage	Surgace Parking Gross SFTG
100	-	Central Campus	EDC Parking Lot P	\$	17,000	\$ 166,000	10.24%	0.42	18,295
100	-	Central Campus	JBW Parking Lot #6 & #12	\$	264,000	\$ 703,000	37.55%	1.78	77,537
100	-	Central Campus	San Jacinto Memorial Backside Parking	\$	41,000	\$ 186,000	22.04%	0.47	20,473
100	-	Central Campus	San Jacinto Main Parking Lot	\$	36,000	\$ 470,000	7.66%	1.19	51,836
100	-	Central Campus	SIS Parking Lot Lot #8	\$	2,000	\$ 324,000	0.62%	0.82	35,719
100	-	Central Campus	Caroline Annex & Parking Lot #10	\$	116,000	\$ 423,000	27.42%	1.07	46,609
100	-	Central Campus	Parking Lot #7 & #14	\$	24,000	\$ 419,000	5.73%	1.06	46,174
100	-	Central Campus	Parking Lot #9	\$	27,000	\$ 138,000	19.57%	0.35	15,246
100	-	Central Campus	Parking Lot #13	\$	3,000	\$ 111,000	2.70%	0.28	12,197
100	-	Central Campus	Parking Lot #15	\$	85,000	\$ 91,000	93.41%	0.23	10,019
100	-	Central Campus	Parking Lot #3 & #5	\$	224,000	\$ 683,000	32.80%	1.73	75,359
100	-	Central Campus	Crawford Parking Lot P	\$	257,000	\$ 277,000	92.78%	0.70	30,492
400	PAC	Spring Branch Campus	PAC North Parking Lot	\$	1,068,000	\$ 2,074,000	51.49%	5.25	228,690
600	ACEU	Alief Campus	ALIF Parking Lot	\$	99,000	\$ 1,600,000	6.19%	4.05	176,418
600	STF2	Scarcella Center	STF2 South Parking Lot	\$	3,000	\$ 2,354,000	0.13%	5.96	259,618
600	STAF	Stafford Campus	Stafford Campus Offsite Parking Lot	\$	105,000	\$ 668,000	15.72%	1.69	73,616
600	WLOP	West Loop Center	WLOP West Parking Lot	\$	22,000	\$ 2,895,000	0.76%	7.33	319,295
Surface P	Parking Tot	tal(s)		\$	2,393,000	\$ 13,582,000	17.62%	34.38	1497593





Houston Community College Facilities Assessment Sorted By Percentage ADA / Life Safety Cost

College Code	Building Code	Campus Name	Facility Name	Landscape Cost	Architectural Cost	Civil Cost	Mech Cost	Elec Cost	Plum Cost	ADA/LS Landscape Cost	ADA/LS Arch Cost	ADA/LS Civil Cost	ADA/LS MEP Cost	Repair Hard Costs	Total ADA / Life Safety Costs	Percentage ADA / Life Safety of Hard Cost
200	AMER	Americana Bldg	Americana Building	\$-	\$ - 9	ş -	\$-	\$-	\$-	\$-	\$ 36,000	\$-\$	-	\$ 36,000	\$ 36,000	100.00%
600	GRNB	Southwest Center	Greenbriar Annex	\$ -	\$ - 5	\$ 20,000	\$-	\$-	\$-	\$-	\$ -	\$-\$	8,000	\$ 28,000	\$ 8,000	28.57%
600	GULF	Gulfton Center Campus	Gulfton Center	\$ 39,000	\$ 25,000 \$	\$ 4,000	\$-	\$-	\$-	\$-	\$ 24,000	\$-\$	-	\$ 92,000	\$ 24,000	26.09%
200	HEINEN	Central Campus	Heinen Theater	\$ 2,000	\$ 144,000 \$	\$ 3,000	\$ 221,000	\$ 177,000	\$ 221,000	\$-	\$ 69,000	\$-\$	-	\$ 837,000	\$ 69,000	8.24%
200	THT1	Central Campus	Theater One	\$-	\$ 79,000 \$	\$ 3,000	\$ 943,000	\$ 269,000	\$ 162,000	\$-	\$ 77,000	\$-\$	27,000	\$ 1,560,000	\$ 104,000	6.67%
600	ATC	Applied Technology Center	Applied Techn. Ctr. (2 Bldgs.)	\$-	\$ - \$	\$ 7,000	\$ 267,000	\$ 156,000	\$ 67,000	\$-	\$-	\$-\$	22,000	\$ 519,000	\$ 22,000	4.24%
200	LHSB	Central Campus	Learning Hub Science Building	\$ 22,000	\$ - 5	\$ 1,000	\$-	\$-	\$-	\$ 1,000	\$ -	\$-\$	-	\$ 24,000	\$ 1,000	4.17%
200	CRAW	Central Campus	Crawford Annex	\$ 9,000	\$ 12,000 \$	- 6	\$ 27,000	\$ 12,000	\$-	\$ 2,000	\$-	\$-\$	-	\$ 62,000	\$ 2,000	3.23%
300	TRANSB	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg B	\$ 18,000	\$ 16,000 \$	\$ 656,000	\$ 543,000	\$ 272,000	\$ 68,000	\$-	\$ 24,000	\$-\$	23,000	\$ 1,620,000	\$ 47,000	2.90%
200	SIS	Central Campus	Staff Instructional Services	\$ 47,000	\$ 133,000 \$	\$ 3,000	\$ 938,000	\$ 215,000	\$ 54,000	\$-	\$ 14,000	\$-\$	27,000	\$ 1,431,000	\$ 41,000	2.87%
200	JBW	Central Campus	J.B. Whitely Bldg.	\$ 34,000	\$ 343,000 \$	- 6	\$ 2,760,000	\$ 1,656,000	\$ 502,000	\$ 1,000	\$ 22,000	\$-\$	125,000	\$ 5,443,000	\$ 148,000	2.72%
300	TRANSA	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg A	\$ 18,000	\$ 110,000 \$	\$ 656,000	\$ 1,518,000	\$ 792,000	\$ 132,000	\$-	\$ 24,000	\$-\$	66,000	\$ 3,316,000	\$ 90,000	2.71%
300	PSI	Codwell Hall Campus	Public Safety Institute	\$ 21,000	\$ - \$	\$ 15,000	\$-	\$-	\$-	\$ 1,000	\$-	\$-\$	-	\$ 37,000	\$ 1,000	2.70%
400	PAC	Spring Branch Campus	Performing Arts Center	\$ 26,000	\$ 260,000 \$	\$ 150,000	\$ 719,000	\$ 392,000	\$-	\$-	\$ 36,000	\$-\$	-	\$ 1,583,000	\$ 36,000	2.27%
200	SJAC	Central Campus	San Jacinto Memorial	\$ 40,000	\$ 1,105,000 \$	\$ 29,000	\$ 6,347,000	\$ 2,962,000	\$ 423,000	\$-	\$ 31,000	\$-\$	212,000	\$ 11,149,000	\$ 243,000	2.18%
600	STAF	Stafford Campus	Stafford Campus (7 Bldgs.)	\$ 30,000	\$ 79,000	\$ 705,000	\$ 1,056,000	\$ 704,000	\$ 211,000	\$-	\$ 48,000	\$-\$	-	\$ 2,833,000	\$ 48,000	1.69%
200	JDB	Central Campus	J. Don Boney Building	\$ 11,000	\$ 168,000 \$	\$ 6,000	\$ 930,000	\$ 560,000	\$ 172,000	\$-	\$ 17,000	\$-\$	-	\$ 1,864,000	\$ 17,000	0.91%
200	BSCC	Central Campus	Business Center	\$ 11,000	\$ 232,000 \$	\$ 2,000	\$ 853,000	\$ 587,000	\$ 180,000	\$-	\$ 17,000	\$-\$	-	\$ 1,882,000	\$ 17,000	0.90%
300	CODW	Codwell Hall Campus	Codwell Hall	\$ 31,000	\$ 28,000 \$	\$ 38,000	\$-	\$ 28,000	\$-	\$ 1,000	\$-	\$-\$	-	\$ 126,000	\$ 1,000	0.79%
600	ALIF	Alief Campus	Alief Campus (Hayes Road)	\$ 23,000	\$ - 9	- 6	\$ 14,207,000	\$ 2,841,000	\$-	\$-	\$-	\$-\$	47,000	\$ 17,118,000	\$ 47,000	0.27%
200	EDC	Central Campus	Educational Development Ctr.	\$ 34,000	\$ 84,000 \$	\$ 7,000	\$ 678,000	\$ 402,000	\$-	\$ 1,000	\$-	\$-\$	-	\$ 1,206,000	\$ 1,000	0.08%
400	SPBR	Spring Branch Campus	Spring Branch (Town & Country)	\$ 38,000	\$ 13,000 \$	\$ 233,000	\$ 748,000	\$ 1,389,000	\$ -	\$ 1,000	\$ -	\$ \$	-	\$ 2,422,000	\$ 1,000	0.04%
400	KATY	Katy Campus	Westgate Center	\$ 20,000	\$ 274,000	\$ 1,409,000	\$ 4,271,000	\$ 1,201,000	\$ 667,000	\$ 1,000	\$-	\$-\$	-	\$ 7,843,000	\$ 1,000	0.01%







HCC - SOUTHEAST COLLEGE - MORALES BUILDINGS - AM, FM



HCC CENTRAL CAMPUS





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FIRE HYDRANT	1
SIAMESE	
ACID BASIN	(
BROKEN PAVEMENT	(
BIRD BATH	9



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SECTION 3 DEFERRED MAINTENANCE COSTS, SCHEDULE AND FCI





SECTION 3: DEFERRED MAINTENANCE COSTS, SCHEDULE, AND FCI

Deferred Maintenance is a practice of allowing facility or infrastructure to deteriorate by postponing prudent, but non-essential, repairs to save cost, labor and/or material. The failure to perform needed repair, maintenance, and renewal by normal maintenance management creates deferred maintenance. Generally, a policy of continuing deferred maintenance will result in higher costs or failure than if normal maintenance had occurred.

Maintenance competes for funding with other programs and is often deferred because appropriations are not available or were redirected to other priorities or projects. Deferred maintenance is often not immediately reported; and, sometimes, not at all. Maintenance which is deferred because of insufficient funding may result in increased safety hazards, poor service to the public, higher costs in the future, and inefficient operations.

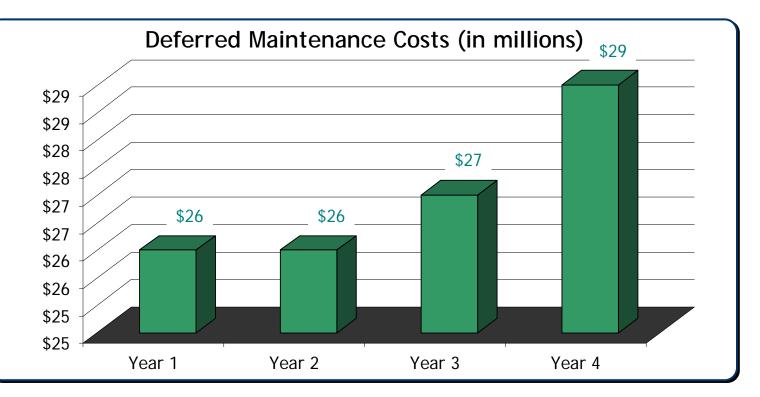
As was described in the previous sections of this report, ESPA CORP team performed an assessment of the HCC facilities. The assessment enabled identification of the required repairs and maintenance issues for the HCC facilities and its systems. A budget cost estimate was identified for these repairs. Detailed repair budget cost estimates are presented in tables in this report. The total repair cost estimate for all the HCC facilities was identified as approximately \$108 million.

Allocating budgets and performing the required repairs of approximately \$108 million within a fiscal year is highly unlikely. A practical method is to schedule the repairs in the order of priority and need. Then the repairs can be scheduled over several years and addressed as the budgets are allocated each year. Accordingly, the required facility repairs were sorted. The repairs required due to ADA and life safety systems inadequacy are listed as a priority. The repairs, if not addressed in the near-term, are recommended to be addressed in the order of their severity or need. Based on this prioritization, all the repairs are sorted and the budget costs are allocated over a four year term.

The table below shows the deferred maintenance costs and the corresponding years in which these repairs are recommended to be performed.

Deferred Year	Deferred Maintenance Costs (in millions)
Year 1	\$ 26
Year 2	\$ 26
Year 3	\$ 27
Year 4	\$ 29

A table showing the facilities, the recommended detailed list of repairs and the corresponding deferred maintenance costs is shown below.









HCC - SOUTHWEST COLLEGE - ALIEF CONT. EDUCATION CENTER - ACEU **INFRASTRUCTURE REPAIRS LIST - EXAMPLE**

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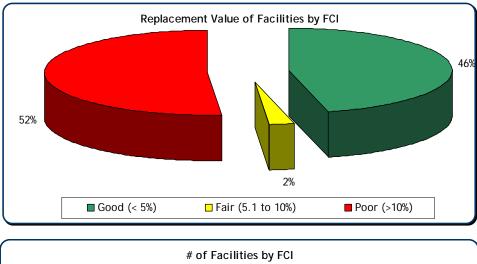
Using the available facilities information and the RS Means Construction Works 2009 Quarter 3 database for the Houston region, a current Replacement Cost for each of the facility was developed. The current replacement value represents the hypothetical expense of rebuilding the existing facility in a manner representing the original construction using current construction costs, materials, and methods. This replacement cost does not include fixtures, furnishings, equipment or site development.

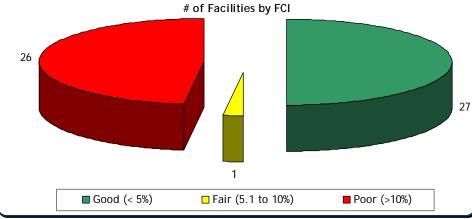
The total replacement cost of all the HCC facilities is approximately \$720 million. A detailed table showing the facilities and the corresponding replacement cost is shown below.

One of the findings of the facility condition assessment process is the determination of the Facility Cost Index (FCI). Facility cost index is a ratio, expressed as a percentage, of the total cost of identified deficiencies to the current replacement value of the facility. The FCI is used to compare the relative condition of facilities. Usually, the higher the FCI, the poorer the relative condition of the facility. APPA recommends the following FCI standards:

<u>Condition</u>	<u>FCI</u>
GOOD	0 to 5%
Fair	6 to 10%
Poor	10% and above

The ranking of the HCC facilities, as measured by FCI, is shown by college and campus. Detailed FCI data is shown in the tables in subsequent sections of this report.





ollege Code	Campus Name	Facility Name	Total Repair Hard Cost	Total Replacement Cost	FCI (Facilitie Cost Index
500	Eastside Campus	Temp. Classrms (6 Bldgs.)	\$ 84,000	\$ 140,000	60.00
500	Eastside Campus	Temp. Classrms (2 Bldgs.)	\$ 83,000	\$ 140,000	59.29
300	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg B	\$ 1,620,000	\$ 3,607,000	44.91
200	Central Campus	Theater One	\$ 1,560,000	\$ 3,632,000	42.95
200	Central Campus	San Jacinto Memorial	\$ 11,149,000	\$ 26,408,000	42.22
300	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg A	\$ 3,316,000	\$ 8,456,000	39.2
100	Administration	System Building	\$ 28,863,000	\$ 73,889,000	39.0
400	Katy Campus	Westgate Center	\$ 7,843,000	\$ 21,606,000	36.3
200	Central Campus	Staff Instructional Services	\$ 1,431,000	\$ 4,259,000	33.6
200	Central Campus	J.B. Whitely Bldg.	\$ 5,443,000	\$ 16,719,000	32.5
200	Central Campus	Business Center	\$ 1,882,000		29.1
600	Stafford Campus	Stafford Campus (7 Bldgs.)	\$ 2,833,000	\$ 9,777,000	28.9
600	Alief Campus	Alief Campus (Hayes Road)	\$ 17,118,000	\$ 65,968,000	25.9
200	Central Campus	Heinen Theater	\$ 837,000	\$ 3,252,000	25.7
200	Central Campus	Crawford Annex	\$ 62,000	\$ 272,000	22.7
400	Spring Branch Campus	Spring Branch (Town & Country)	\$ 2,422,000	\$ 10,792,000	22.4
400	Spring Branch Campus	Performing Arts Center	\$ 1,583,000	\$ 8,442,000	18.7
200	Central Campus	J. Don Boney Building	\$ 1,864,000	\$ 10,142,000	18.3
300	Pinemont Campus	Pinemont Hall	\$ 2,094,000	\$ 11,469,000	18.2
200	Central Campus	Curriculum Innovation Center	\$ 130,000	\$ 717,000	18.1
200	Central Campus	Fine Arts Center	\$ 2,417,000	\$ 13,521,000	17.8
500	Eastside Campus	Angela Morales Building	\$ 478,000	\$ 2,749,000	17.3
200	Central Campus	Educational Development Ctr.	\$ 1,206,000	\$ 7,760,000	15.5
600	West Loop Center	West Loop Center	\$ 4,791,000	\$ 33,497,000	14.3
400	Spring Branch Campus	Science Building	\$ 641,000	\$ 5,294,000	12.1
600	Applied Technology Center	Applied Techn. Ctr. (2 Bldgs.)	\$ 519,000	\$ 4,739,000	10.9
600	Scarcella Center	Scarcella Science & Tech. Ctr.	\$ 989,000	\$ 16,102,000	6.1
400	Katy Mills Mall	Early Childhood Development	\$ 54,000	\$ 2,048,000	2.6
300	Codwell Hall Campus	Codwell Hall Shower (Temp)	\$ 5,000	\$ 219,000	2.2
700	Coleman Health Science Ctr.	Coleman Health Science Ctr.	\$ 623,000	\$ 37,081,000	1.6
500	Eastside Campus	Eastside Annex	\$ 90,000	\$ 5,660,000	1.5
100	Administration	Parking Structure	\$ 344,000	\$ 23,768,000	1.4
500	Eastside Campus	Office City	\$ 35,000	\$ 2,571,000	1.3
600	Alief Continuing Educ. Ctr.	Alief	\$ 133,000		1.3
600	Gulfton Center Campus		\$ 92,000	\$ 7,577,000	1.2
200	Willie Gay Hall	Willie Gay Hall	\$ 101,000	\$ 9,071,000	1.1
500	Eastside Campus	Southeast Learning Hub	\$ 161,000	\$ 16,913,000	0.9
200	Central Campus	Fine Arts Parking Structure	\$ 94,000	\$ 10,589,000	0.8
300	Codwell Hall Campus	Phys. Plant (Science Stor Bldg)	\$ 16,000 \$ 100,000	\$ 1,824,000	0.8
300	Codwell Hall Campus	Codwell Hall	\$ 126,000 \$ 28,000	\$ 15,162,000	0.8
600 200	Southwest Center	Greenbriar Annex	\$ 28,000 \$ 26,000	\$ 3,848,000	0.7 0.7
300	Americana Bldg	Americana Building Roland Smith Truck Driving Ctr.	\$ 36,000 \$ 52,000		
	Codwell Hall Campus		\$ 52,000 \$ 68,000		0.6
500 300	Eastside Campus Codwell Hall Campus	Felix Morales Building NE Science and Tech. Bldg	\$ 68,000 \$ 45,000	\$ 11,311,000 \$ 10,020,000	0.6 0.4
600	Missouri City Campus	Academic Ctr Sienna Plantation		\$ 10,020,000	0.4
300	<u> </u>			\$ 10,409,000 \$ 16,808,000	
600	Codwell Hall Campus Scarcella Center	Public Safety Institute SW Stafford Learning Hub	\$ 37,000 \$ 49,000	\$ 16,898,000 \$ 26,390,000	0.2
300	Northline Center	Northline - New Academic Ctr.	\$ 49,000 \$ 38,000	\$ 26,390,000 \$ 21,121,000	0.1
300	Codwell Hall Campus	Learning Hub at Northeast	\$ <u>38,000</u> \$ <u>28,000</u>	\$ 21,121,000 \$ 16,859,000	0.1
200	Codwell Hall Campus	Learning Hub Science Building	\$ 28,000 \$ 24,000	\$ 10,859,000	0.1
200	Central Campus	West Wing	\$ 24,000 \$ 4,000	\$ 20,448,000 \$ 10,199,000	0.1
400	Spring Branch Campus	Commons / Bookstore	\$ 4,000 \$	\$ 10,199,000 \$ 1,515,000	0.0
-+			ιΨ -	ψ 1,313,000	0.0



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Houston Community College Facilities Assessment Repair Hard Costs With Replacement Costs

College	Building			Landscape	Architectural	Civil	Mech	Elec	Plum	ADA/LS	ADA/LS ADA		Repair Hard	Civil	Building	Total
Code	Code	Campus Name	Facility Name	Cost	Cost	Cost	Cost	Cost	Cost	Landscape	Arch Civ Cost Cos		Costs	Replacement	Replacement	Replacement
100	SYSP	Administration	Parking Structure	\$ 20,000	\$ 2,000	s0	<u> </u>	6 123,000	- 2	Cost \$ -	Cost Cos	t Cost	\$ 344,000	Hard Costs	Hard Costs \$ 23,768,000	Hard Costs \$ 23,768,000
100	SYSB	Administration	System Building	\$ 24,000	\$ 69,000	\$ 685.000 \$	5 22,860,000 \$	5,225,000	\$ - 3	\$-	\$-\$	- \$ -	\$ 28,863,000	\$ 5,925,000	\$ 67,964,000	\$ 73,889,000
200	AMER	Americana Bldg	Americana Building	\$ 24,000	\$ -	\$ - 9	- \$		\$ -	\$ -	\$ 36,000 \$	- \$ -	\$ 36,000	\$ -	\$ 5,161,000	\$ 5,161,000
200	BSCC	Central Campus	Business Center	\$ 11,000	\$ 232,000	\$ 2,000	\$ 853,000 \$	587,000	\$ 180,000	\$ -	\$ 17,000 \$	- \$ -	\$ 1,882,000	\$ 298,000	\$ 6,156,000	\$ 6,454,000
200	CRAW	Central Campus	Crawford Annex	\$ 9,000	\$ 12,000	\$ - 9	5 27,000 \$	12,000	\$ -	\$ 2,000	\$ - \$	- \$ -	\$ 62,000	\$ -	\$ 272,000	\$ 272,000
200	CIC	Central Campus	Curriculum Innovation Center	\$ 11,000	\$ 9,000	\$ 2,000	66,000 \$	32,000	\$ 10,000	<u>\$</u> -	\$ - \$	- \$ -	\$ 130,000	\$ 298,000	\$ 419,000	\$ 717,000
200	EDC	Central Campus	Educational Development Ctr.	\$ 34,000	\$ 84,000	\$ 7,000	678,000 \$	6 402,000	\$ -	\$ 1,000	\$ - \$	- \$ -	\$ 1,206,000	\$ 672,000	\$ 7,088,000	\$ 7,760,000
200	FAC	Central Campus	Fine Arts Center	\$ 21,000	\$ 597,000	\$ 1,000 \$	5 1,245,000 \$	461,000	\$ 92,000	\$ -	\$ - \$	- \$ -	\$ 2,417,000	\$ 316,000	\$ 13,205,000	\$ 13,521,000
200	FACP	Central Campus	Fine Arts Parking Structure	\$ 17,000	\$ -	\$ - 9	s - \$	53,000	\$ 24,000	\$ -	\$ - \$	- \$ -	\$ 94,000	\$ 221,000	\$ 10,368,000	\$ 10,589,000
200	HEINEN	Central Campus	Heinen Theater	\$ 2,000	\$ 144,000	\$ 3,000 \$	<u>5</u> 221,000 \$	177,000	\$ 221,000	\$ -	\$ 69,000 \$	- \$ -	\$ 837,000	\$ 229,000	\$ 3,023,000	\$ 3,252,000
200	JDB	Central Campus	J. Don Boney Building	\$ 11,000	\$ 168,000	\$ 6,000 \$	930,000 \$	560,000	\$ 172,000	\$ -	\$ 17,000 \$	- \$ -	\$ 1,864,000	\$ 3,950,000	\$ 6,192,000	\$ 10,142,000
200	JBW	Central Campus	J.B. Whitely Bldg.	\$ 34,000	\$ 343,000	\$ - 9	5 2,760,000 \$	1,656,000	\$ 502,000	\$ 1,000	\$ 22,000 \$	- \$ 125,000	\$ 5,443,000	\$ 837,000	\$ 15,882,000	\$ 16,719,000
200	SJAC	Central Campus	San Jacinto Memorial	\$ 40,000	\$ 1,105,000	\$ 29,000 \$	6,347,000 \$	2,962,000	\$ 423,000	\$ -	\$ 31,000 \$	- \$ 212,000	\$ 11,149,000	\$ 1,067,000	\$ 25,341,000	\$ 26,408,000
200	LHSB	Central Campus	Learning Hub Science Building	\$ 22,000	\$-	\$ 1,000 \$	s - \$; -	\$ -	\$ 1,000	\$ - \$	- \$ -	\$ 24,000	\$ 545,000	\$ 19,903,000	\$ 20,448,000
200	SIS	Central Campus	Staff Instructional Services	\$ 47,000	\$ 133,000	\$ 3,000 \$	§ 938,000 \$	215,000	\$ 54,000	\$-	\$ 14,000 \$	- \$ 27,000	\$ 1,431,000	\$ 399,000	\$ 3,860,000	\$ 4,259,000
200	THT1	Central Campus	Theater One	\$	\$ 79,000	\$ 3,000 \$	\$ 943,000 \$	269,000	\$ 162,000	\$ -	\$ 77,000 \$	- \$ 27,000	\$ 1,560,000	\$ 122,000	\$ 3,510,000	\$ 3,632,000
200	WW	Central Campus	West Wing	\$ 4,000	\$	\$ - \$	S - \$	-	\$ - :	\$ -	\$ - \$	- \$ -	\$ 4,000	\$ -	\$ 10,199,000	\$ 10,199,000
200	GAYHL	Willie Gay Hall	Willie Gay Hall	\$ 36,000	\$ 10,000	\$ 55,000 \$	S - \$	-	\$ - :	\$ -	\$ - \$	- \$ -	\$ 101,000	\$ 2,544,000	\$ 6,527,000	\$ 9,071,000
300	TRANSA	Automotive Tech. Training Ctr.	Auto. Tech. Training Ctr. Bldg A	\$ 18,000	\$ 110,000	\$ 656,000	5 1,518,000 \$	792,000	\$ 132,000	\$-	\$ 24,000 \$	- \$ 66,000	\$ 3,316,000	\$ 862,000	\$ 7,594,000	\$ 8,456,000
300	TRANSB	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg B	\$ 18,000	\$ 16,000	\$ 656,000	543,000 \$	272,000	\$ 68,000	\$ -	\$ 24,000 \$	- \$ 23,000	\$ 1,620,000	\$ 862,000	\$ 2,745,000	\$ 3,607,000
300	CODW	Codwell Hall Campus	Codwell Hall	\$ 31,000	\$ 28,000	\$ 38,000 \$	- \$	28,000	\$ -	\$ 1,000	\$ - \$	- \$ -	\$ 126,000	\$ 3,239,000	\$ 11,923,000	\$ 15,162,000
300	BLDG4	Codwell Hall Campus	Codwell Hall Shower (Temp)	\$-	\$ -	\$ - 5	5 - \$	-	\$ 5,000	\$-	\$ - \$	- \$ -	\$ 5,000	\$-	\$ 219,000	\$ 219,000
300	LHUB	Codwell Hall Campus	Learning Hub at Northeast	\$ 21,000	\$-	\$ 7,000 \$	- \$	-	\$ -	\$-	\$-\$	- \$ -	\$ 28,000	\$ 2,101,000	\$ 14,758,000	\$ 16,859,000
300	NOLN	Northline Center	Northline - New Academic Ctr.	\$ 34,000	\$-	\$ 3,000 \$	- \$		\$ -	\$-	\$-\$	- \$ -	\$ 38,000	\$ 8,011,000	\$ 13,110,000	\$ 21,121,000
300	PINE	Pinemont Campus	Pinemont Hall	\$-	\$ 8,000	\$ 1,000 \$	5 1,516,000 \$	569,000	\$ -	\$ -	\$ - \$	- \$ -	\$ 2,094,000	\$ 2,709,000	\$ 8,760,000	\$ 11,469,000
300	PSI	Codwell Hall Campus	Public Safety Institute	\$ 21,000	\$-	\$ 15,000 \$	5 - \$		+	\$ 1,000	\$-\$	- \$ -	\$ 37,000	\$ 15,093,000	\$ 1,805,000	\$ 16,898,000
300	CTDC	Codwell Hall Campus	Roland Smith Truck Driving Ctr.	\$ 19,000	\$ 5,000	\$ 2,000	<u> </u>	10,000	\$ -	\$ -	\$ - \$	- \$ -	\$ 52,000	\$ 5,082,000	\$ 2,531,000	\$ 7,613,000
300	STECH	Codwell Hall Campus	NE Science and Tech. Bldg	\$ 11,000	\$ -	\$ 34,000	<u> </u>	-	\$ -	<u>\$</u> -	\$ - \$	- \$ -	\$ 45,000	\$ 1,798,000	\$ 8,222,000	\$ 10,020,000
300	CHPP	Codwell Hall Campus	Phys. Plant (Science Stor Bldg)	\$ 9,000	\$ -	\$ 7,000	5 - \$	-	\$ -	\$ -	\$ - \$	- \$ -	\$ 16,000	\$ 691,000	\$ 1,133,000	\$ 1,824,000
400	KAML	Katy Mills Mall	Early Childhood Development	\$ 27,000	\$ 10,000	\$ 17,000	5 - \$	-	\$ -	<u>\$</u> -	\$ - \$	- \$ -	\$ 54,000	\$ 877,000	\$ 1,171,000	\$ 2,048,000
400	COMM	Spring Branch Campus	Commons / Bookstore	\$-	\$ -	\$ - 5	5 - \$	-	\$ -	<u>\$</u> -	\$ - \$	- \$ -	\$ -	\$ -	\$ 1,515,000	\$ 1,515,000
400	PAC	Spring Branch Campus	Performing Arts Center	\$ 26,000	\$ 260,000	\$ 150,000	<u>5</u> 719,000 \$	392,000	\$ -	<u>\$</u> -	\$ 36,000 \$	- \$ -	\$ 1,583,000	\$ 2,816,000	\$ 5,626,000	\$ 8,442,000
400	SCIB	Spring Branch Campus	Science Building	\$ 47,000	\$ 1,000	\$ 235,000	<u>5 119,000</u> \$	239,000	\$ -	<u>\$</u>	\$ - \$	- \$ -	\$ 641,000	\$ 967,000	\$ 4,327,000	\$ 5,294,000
400	SPBR	Spring Branch Campus	Spring Branch (Town & Country)	\$ 38,000	\$ 13,000	\$ 233,000 \$	5 748,000 \$	1,389,000	\$ - 3	\$ 1,000	\$ - \$	- \$ -	\$ 2,422,000	\$ 4,017,000	\$ 6,775,000	\$ 10,792,000
400 500	KATY AM	Katy Campus	Westgate Center	\$ 20,000	\$ 274,000 \$ 37,000	\$ 1,409,000	5 4,271,000 \$	1,201,000	\$ 667,000	\$ 1,000	\$-\$ \$-\$	- \$ -	\$ 7,843,000	\$ 3,535,000	\$ 18,071,000	\$ 21,606,000
500	ESAN	Eastside Campus Eastside Campus	Angela Morales Building Eastside Annex	\$ 14,000 \$ 22,000	. ,	\$ 27,000 \$ \$ 28,000 \$	\$ 400,000 \$	-	ъ	р -	ъ - ъ \$-\$	- 5 -	\$ 478,000 \$ 90,000	\$ 1,627,000 \$ 920,000	\$ 1,122,000 \$ 4,740,000	\$ 2,749,000 \$ 5,660,000
500	FM		Felix Morales Building	\$ 22,000 \$ 14,000	\$ 40,000 \$ 28,000	\$ 26,000 \$	- J	-	\$	с	s - s S - S	- 5 -	\$ 90,000 \$ 68,000	\$ 920,000 \$ 1,627,000	\$ 4,740,000 \$ 9,684,000	\$ 5,660,000 \$ 11,311,000
500	FM	Eastside Campus Eastside Campus	Felix Fraga Academic	\$ 14,000 ¢	\$ 20,000 ¢	\$ 20,000 \$			φ - ·	գ - ¢	ъ - ъ \$-\$	 •	ຈ 00,000 ¢	\$ 1,027,000 ¢	\$ 9,684,000 \$ 12,594,000	\$ 12,594,000
500	OFFCTY	Eastside Campus	Office City	φ - \$	\$ 28,000	\$ 7,000			\$ -	<u> </u>	\$ - \$ \$ - \$		\$ 35,000	\$ 589,000	\$ 1,982,000	\$ 2,571,000
500	SELH	Eastside Campus	Southeast Learning Hub	\$ <u>-</u>		\$ 7,000 \$ \$ 155,000 \$			\$	φ - \$	s - s S - S		\$ 35,000 \$ 161,000	\$ 589,000 \$ 901,000	\$ 16,012,000 \$ 16,012,000	\$ 2,571,000 \$ 16,913,000
500	TEMP1	Eastside Campus	Temp. Classrms (2 Bldgs.)	\$ 0,000	ψ - \$ -	\$ - 0	62,000 \$			<u> </u>	÷ ÷	- \$ -	\$ 83,000		\$ 140,000	
500	TEMP2	Eastside Campus	Temp. Classrms (2 Bldgs.)	\$ -	÷ -	\$ - 0	63,000 \$	21,000		÷ -	\$-\$ \$-\$	- \$ -	\$ 84,000	\$ -	\$ 140,000	\$ 140,000
600	ACEU	Alief Continuing Educ. Ctr.	Alief	\$ 35,000	\$ -	\$ 98,000			\$ - !	<u>+</u> \$ -	\$ - \$	- \$ -	\$ 133,000	\$ 2,066,000		\$ 9,780,000
600	MOCC	Missouri City Campus	Academic Ctr Sienna Plantation	\$ 28,000	•	\$ 7,000 \$			\$		\$ - \$	- \$ -	\$ 35,000	\$ 1,529,000		\$ 10,409,000
600	ATC	Applied Technology Center	Applied Techn. Ctr. (2 Bldgs.)	\$ _0,000	\$ -	\$ 7,000		156,000	\$ 67,000		\$-\$	- \$ 22,000	\$ 519,000	\$ 561,000		\$ 4,739,000
600	GRNB	Southwest Center	Greenbriar Annex	\$	\$	\$ 20,000			\$ 07,000		\$ - \$	- \$ 8,000		\$ 1,272,000		\$ 3,848,000
600	GULF	Gulfton Center Campus	Gulfton Center	\$ 39,000	\$ 25,000	\$ 4,000 \$		-	<u>\$</u>		\$ 24,000 \$	- \$ -	\$ 92,000	\$ 699,000	\$ 6,878,000	\$ 7,577,000
600	ALIF	Alief Campus	Alief Campus (Hayes Road)	\$ 23,000	\$ -		5 14,207,000 \$	2,841,000	\$ -	· \$ -	\$ - \$	- \$ 47,000		\$ 4,928,000	\$ 61,040,000	\$ 65,968,000
600	STF2	Scarcella Center	Scarcella Science & Tech. Ctr.	\$ 45,000	\$ 11,000	\$ 10,000	5 923,000 \$	-	\$ -	\$ -	\$ - \$	- \$ -	\$ 989,000	\$ 3,595,000	\$ 12,507,000	\$ 16,102,000
600	STAF	Stafford Campus	Stafford Campus (7 Bldgs.)	\$ 30,000		\$ 705,000	5 1,056,000 \$	5 704.000	\$ 211,000		\$ 48,000 \$	- \$ -	\$ 2,833,000	\$ 1,122,000	\$ 8,655,000	\$ 9,777,000
600	STF3	Scarcella Center	SW Stafford Learning Hub	\$ 43,000	\$ -	\$ 6,000 \$	- \$		\$ -	\$ -	\$ - \$	- \$ -	\$ 49,000	\$ 5,005,000		\$ 26,390,000
600	WLOP	West Loop Center	West Loop Center	\$ 34,000	\$ 89,000	\$ 7,000 \$	3,680,000	981,000	\$ -	\$ -	\$ - \$	- \$ -	\$ 4,791,000	\$ 1,560,000		\$ 33,497,000
700	CHSC	Coleman Health Science Ctr.	Coleman Health Science Ctr.	\$ 12,000	\$ 6,000	\$ 2,000 \$	\$ 86,000 \$	517,000	\$ -	\$ -	\$ - \$	- \$ -	\$ 623,000	\$ 626,000		\$ 37,081,000
										¢ 0.000	¢ 430.000 ¢	¢ ==== 0.00				· · ·
Total(s)				\$ 1,028,000	\$ 4,055,000	\$ 5,369,000	68,261,000 \$	22,867,000	\$ 2,990,000	ə 9,000	\$ 439,000 \$	- \$ 557,000	\$ 105,576,000	\$ 98,710,000	\$ 587,742,000	\$ 686,452,000





Houston Community College Facilities Assessment Facilities Sorted By Facility Cost Index (FCI)

College Code	Building Code	Campus Name	Facility Name	Landscape Cost	Architectural Cost	Civil Cost	Mech Cost	Elec Cost	Plum Cost	ADA/LS Landscape Cost	ADA/LS Arch Cost	ADA/LS Civil Cost	ADA/LS MEP Cost	Repair Hard Cost	Total Replacement Cost	FCI (Facilities Cost Index)
500	TEMP2	Eastside Campus	Temp. Classrms (6 Bldgs.)	\$-	\$-	\$ - \$	63,000	\$ 21,000	\$ -	\$ -			\$ -	\$ 84,000	\$ 140,000	60.00%
500	TEMP1	Eastside Campus	Temp. Classrms (2 Bldgs.)	\$ -	· ·	\$ - 9		\$ 21,000	\$ -	\$ -		-	\$ -	\$ 83,000		59.29%
300	TRANSB	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg B	\$ 18,000	\$ 16,000	\$ 656,000 \$	1	\$ 272,000	\$ 68,000	•	\$ 24,000 \$	-	\$ 23,000			44.91%
200	THT1	Central Campus	Theater One	\$ -	\$ 79,000			\$ 269,000	\$ 162,000		\$ 77,000 \$	-	\$ 27,000		. , ,	42.95%
200	SJAC	Central Campus	San Jacinto Memorial	\$ 40.000	\$ 1,105,000	\$ 29,000 \$	6,347,000	\$ 2,962,000	\$ 423,000		\$ 31,000 \$	-	\$ 212,000	. , ,	. , ,	42.22%
300	TRANSA	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg A	\$ 18,000	\$ 110,000	\$ 656,000 \$		\$ 792,000	\$ 132,000	•	\$ 24,000 \$	-	\$ 66,000	. , ,		39.21%
100	SYSB	Administration	System Building	\$ 24,000	\$ 69,000	\$ 685,000	11	\$ 5,225,000		*	\$ - \$	-	\$	\$ 28,863,000		39.06%
400	KATY	Katy Campus	Westgate Center	\$ 20,000	\$ 274,000	\$ 1,409,000 \$	4,271,000	\$ 1,201,000	\$ 667,000	•	÷	-	\$ -	\$ 7,843,000	. , ,	36.30%
200	SIS	Central Campus	Staff Instructional Services	\$ 47,000	\$ 133,000	\$ 3,000 \$	938,000	\$ 215,000	\$ 54,000	. ,		-	\$ 27,000	. , ,	. , ,	33.60%
200	JBW	Central Campus	J.B. Whitely Bldg.	\$ 34,000	\$ 343,000	\$ - 9	2,760,000	\$ 1,656,000	\$ 502,000			-	\$ 125,000			32.56%
200	BSCC	Central Campus	Business Center	\$ 11,000	\$ 232,000	\$ 2,000 \$	853,000	\$ 587,000	\$ 180,000	\$ -	\$ 17,000 \$	-	\$	\$ 1,882,000		29.16%
600	STAF	Stafford Campus	Stafford Campus (7 Bldgs.)	\$ 30,000	\$ 79,000	\$ 705,000 \$		\$ 704,000	· · · · · · · · · · · · · · · · · · ·	\$-	\$ 48,000 \$	-	\$ -	\$ 2,833,000		28.98%
600	ALIF	Alief Campus	Alief Campus (Hayes Road)	\$ 23,000		\$ - 9		\$ 2,841,000			\$ - \$	-	\$ 47,000	. , ,	. , ,	25.95%
200	HEINEN	Central Campus	Heinen Theater	\$ 2,000	+	\$ 3,000 \$	221,000	\$ 177,000	\$ 221,000	*	•	-	\$	\$ 837,000	. , ,	25.74%
200	CRAW	Central Campus	Crawford Annex	\$ 9,000	\$ 12,000	\$ - \$		\$ 12,000	\$ -	\$ 2,000		-	\$ -	\$ 62,000	. , ,	22.79%
400	SPBR	Spring Branch Campus	Spring Branch (Town & Country)	\$ 38,000	\$ 13,000	\$ 233,000	1	\$ 1,389,000	<u>\$</u> -	\$ 1,000		-	\$ -	\$ 2,422,000		22.44%
400	PAC	Spring Branch Campus	Performing Arts Center	\$ 26,000	\$ 260,000	\$ 150,000 \$		\$ 392,000	\$ -	\$ -	\$ 36,000 \$	-	\$	\$ 1,583,000	. , ,	18.75%
200	JDB	Central Campus	J. Don Boney Building	\$ 11,000	\$ 168,000	\$ 6,000 \$		\$ 560,000	\$ 172,000	Ŧ	\$ 17,000 \$	-	\$	\$ 1,864,000	. , ,	18.38%
300	PINE	Pinemont Campus	Pinemont Hall	\$ -	\$ 8,000	\$ 1,000 \$		\$ 569,000			\$ - \$		\$	\$ 2,094,000	. , ,	18.26%
200	CIC	Central Campus	Curriculum Innovation Center	\$ 11,000		\$ 2,000		\$ 32,000	\$ 10,000	Ŷ	\$ - \$	_	\$ \$	\$ 130,000	. , ,	18.13%
200	FAC	Central Campus	Fine Arts Center	\$ 21,000	\$ 597,000		1	\$ 461,000	\$ 92,000		\$ - \$		Ψ \$	\$ 2,417,000		17.88%
500	AM	Eastside Campus	Angela Morales Building	\$ 14,000		\$ 27,000 \$			\$ <u>32,000</u>		\$ - \$	_	Ψ \$	\$ 478,000	. , ,	17.39%
200	EDC	Central Campus	Educational Development Ctr.	\$ 34,000	\$ 84,000				φ - ¢	\$ 1,000	¥ ¥	_	Ψ ¢	\$ 1,206,000		15.54%
600	WLOP	West Loop Center	West Loop Center	\$ 34,000 \$ 34,000	\$ 89,000 \$			\$ <u>402,000</u> \$ <u>981,000</u>	Ŧ		s - s	-	ф С	\$ 4,791,000		14.30%
400	SCIB	Spring Branch Campus	Science Building	\$ 34,000 \$ 47,000	\$ 1,000	\$ 235,000 \$		\$ <u>981,000</u> \$ 239,000	φ - ¢	Ŧ	<u> </u>	-	у - С	\$ 641,000	. , ,	12.11%
600	ATC	Applied Technology Center	Applied Techn. Ctr. (2 Bldgs.)	\$ 47,000 ¢		\$ 233,000 \$ \$ 7,000 \$		\$ 259,000 \$ 156,000	\$ 67.000	Ŷ	• • • \$ - \$	-	\$ 22,000		. , ,	10.95%
600	STF2	Scarcella Center	Scarcella Science & Tech. Ctr.	\$ 45,000	\$ 11,000		,	\$ 130,000 ¢	\$ 07,000 ¢	•	s - s	-	\$ 22,000	\$ 989,000	. , ,	6.14%
400	KAML	Katy Mills Mall	Early Childhood Development	\$ 27,000	\$ 10,000	\$ 17,000 \$		գ - ¢	φ - ¢		<u> </u>	-	у С	\$ 54,000	. , ,	2.64%
300	BLDG4	Codwell Hall Campus	Codwell Hall Shower (Temp)	\$ 27,000 ¢		\$ 17,000 \$ \$ - \$		s - \$ -	\$ 5.000	Ŧ	<u> </u>	-	э с	\$ 5,000	. , ,	2.04%
700	CHSC	Coleman Health Science Ctr.	Coleman Health Science Ctr.	\$ 12,000	\$ 6,000	\$ 2,000	s 86,000	\$ 517,000	\$ 5,000 ¢	•	\$-\$	-	у С	\$ 623,000		1.68%
500	ESAN	Eastside Campus	Eastside Annex	\$ 12,000	\$ 40,000	\$ 28,000 \$		\$ 317,000 ¢	φ - •		<u> </u>	-	\$	\$ 90,000	. , ,	1.59%
100	SYSP	Administration	Parking Structure	\$ 22,000	\$ 40,000 \$ 2,000	\$ 20,000 \$ ¢ 4	5 <u>-</u> 5 199,000	\$ 123,000	Ŧ	Ŧ		-	э с	\$ 344,000		1.39%
500	OFFCTY	Eastside Campus	Office City	\$ 20,000 ¢	\$ 28,000	\$ 7,000 \$,	\$ 123,000	•	Ŧ	<u> </u>	-	у - с	\$ 35,000	. , ,	1.45%
600	ACEU	Alief Continuing Educ. Ctr.	Alief	\$ 35,000		\$ 98,000 \$		\$ - \$ -	•	\$ - \$ -		-	ф Ф	\$ 133,000	. , ,	1.36%
600	GULF	Gulfton Center Campus	Gulfton Center	\$ 39,000	\$ 25,000			\$ - \$ -	Ŧ	\$ -	\$ 24,000 \$	-	φ •	\$ 92,000		1.30%
200	GAYHL	Willie Gay Hall	Willie Gay Hall	\$ 39,000	\$ 23,000 \$ 10,000	\$ 4,000 \$ \$ 55,000 \$		•	Ŧ	\$ -		-	3 4	\$ 101,000	. , ,	1.11%
500	SELH	Eastside Campus	,	\$ 6,000	. ,	\$ 155,000 \$		\$ - \$ -	φ - •	*	<u> </u>	-	\$	\$ 161,000		0.95%
200	FACP		Southeast Learning Hub	\$ 0,000	·	\$ 155,000 \$ \$ - \$		\$ 53,000	\$ 24,000	*		-	-р -с	\$ 94,000		0.95%
300	CHPP	Central Campus	Fine Arts Parking Structure Phys. Plant (Science Stor Bldg)	\$ 9,000	ъ - \$ -	•					<u> </u>	-	\$ -			0.89%
300	CODW	Codwell Hall Campus Codwell Hall Campus	Codwell Hall	\$ 9,000	\$ 28,000	\$ 7,000 \$ \$ 38,000 \$		\$ 28,000	ф -	\$ 1,000		-	ъ с	\$ 16,000 \$ 126,000	. , ,	0.83%
600	GRNB			\$ 31,000 ¢					<u> </u>	• .,•••		-	\$ 8,000		. , ,	0.83%
	AMER	Southwest Center	Greenbriar Annex	ф -	•	A		,	Ŧ	Ŧ	+ +	-	•		. , ,	
200		Americana Bldg	Americana Building	⇒ -	\$ -						\$ 36,000 \$		\$ -	\$ 36,000		0.70%
300	CTDC	Codwell Hall Campus	Roland Smith Truck Driving Ctr.	\$ 19,000 \$ 14,000						\$ -			\$-	\$ 52,000		0.68%
500	FM	Eastside Campus	Felix Morales Building	\$ 14,000				•		\$-			\$ -	\$ 68,000		0.60%
300	STECH	Codwell Hall Campus	NE Science and Tech. Bldg	\$ 11,000	\$-			,		\$-			\$-	\$ 45,000		0.45%
600	MOCC	Missouri City Campus	Academic Ctr Sienna Plantation	\$ 28,000	\$-				•	\$ -			\$ -	\$ 35,000		0.34%
300	PSI	Codwell Hall Campus	Public Safety Institute	\$ 21,000	\$ -				•	\$ 1,000			\$-	\$ 37,000		0.22%
600	STF3	Scarcella Center	SW Stafford Learning Hub	\$ 43,000		\$ 6,000 \$					\$ - \$	-	\$-	\$ 49,000		0.19%
300	NOLN	Northline Center	Northline - New Academic Ctr.	\$ 34,000	\$-			•		\$-		-	5 -	\$ 38,000		0.18%
300	LHUB	Codwell Hall Campus	Learning Hub at Northeast	\$ 21,000		\$ 7,000 \$				\$-			\$ -	\$ 28,000		0.17%
200	LHSB	Central Campus	Learning Hub Science Building	\$ 22,000	\$-					\$ 1,000			\$ -	\$ 24,000		0.12%
200	WW	Central Campus	West Wing	\$ 4,000	\$-					\$-			\$ -	\$ 4,000		0.04%
400	COMM	Spring Branch Campus	Commons / Bookstore	\$-	\$-					\$-			\$ -		\$ 1,515,000	0.00%
500	FFAC	Eastside Campus	Felix Fraga Academic	\$-	\$-	\$ - \$	-	\$-	\$-	\$-	\$ - \$	-	\$ -	- \$	\$ 12,594,000	0.00%





Houston Community College Facilities Assessment Deferred Maintenance Schedule

College Code	Building Code	Campus Name	Facility Name	Landscape Cost	Architectural Cost	Civil Cost	Mech Cost	Elec Cost	Plum Cost	Repair Hard Costs	Total ADA / Life Safety Costs	Percentage ADA / Life Safety of Hard Cost	Year 1	Year 2	Year 3	Year 4
100	SYSP	Administration	Parking Structure	\$ 20,000	\$ 2,000	\$ -	\$ 199,000	\$ 123,000	\$-	\$ 344,000	\$-	0.00%	\$-	\$ 1,029,000	\$-	\$ -
100	SYSB	Administration	System Building	\$ 24,000	\$ 69,000	\$ 685,000	\$ 22,860,000	\$ 5,225,000	\$-	\$ 28,863,000	\$-	0.00%	\$-	\$-	\$-	\$ 28,178,000
200	AMER	Americana Bldg	Americana Building	\$-	\$-	\$ -	\$-	\$ -	\$-	\$ 36,000	\$ 36,000	100.00%	\$ 36,000	\$-	\$-	\$-
200	BSCC	Central Campus	Business Center	\$ 11,000	\$ 232,000	\$ 2,000	\$ 853,000	\$ 587,000	\$ 180,000	\$ 1,882,000		0.90%	\$ -	\$-	\$ 1,872,000	\$ -
200	CRAW	Central Campus	Crawford Annex		\$ 12,000	\$ -	\$ 27,000	\$ 12,000	\$ -	\$ 62,000		3.23%	\$ 51,000	\$ -	\$ -	\$ -
200	CIC	Central Campus	Curriculum Innovation Center	\$ 11,000	\$ 9,000	\$ 2,000	\$ 66,000	\$ 32,000		\$ 130,000	. ,	0.00%		\$ -	\$ -	\$ -
200	EDC	Central Campus	Educational Development Ctr.		\$ 84,000	\$ 7,000	\$ 678,000	\$ 402,000		\$ 1,206,000		0.08%		\$ -	\$ -	\$-
200	FAC	Central Campus	Fine Arts Center	\$ 21,000	\$ 597,000	\$ 1,000	\$ 1,245,000	\$ 461,000		\$ 2,417,000		0.00%	• .,===,===	\$ -	\$ 2,604,000	\$ -
200	FACP	Central Campus	Fine Arts Parking Structure	\$ 17,000	. ,	\$ -		\$ 53,000		\$ 94,000		0.00%	. 2	¢ _	\$ 94,000	
200	HEINEN	Central Campus	Heinen Theater	\$ 2,000	\$ 144,000	\$ 3,000	\$ 221,000	\$ 177,000	\$ 221,000	\$ 837,000		8.24%		Ψ - 2	\$ 837,000	φ - 2
200	JDB			\$ 11,000	\$ 168,000	\$ 6,000	\$ 930,000	\$ 560,000	\$ 172,000	\$ 1,864,000		0.91%		¢	\$ 935,000	¢
		Central Campus	J. Don Boney Building	• ,				. ,			· · · · · · · · · · · · · · · · · · ·			ф -	\$ 935,000 ¢	 -
200	JBW	Central Campus	J.B. Whitely Bldg.	\$ 34,000		\$ -	. , ,	\$ 1,656,000		\$ 5,443,000		2.72%	. , ,	\$ -	\$ -	<u></u> ъ -
200	SJAC	Central Campus	San Jacinto Memorial	+,	\$ 1,105,000	\$ 29,000	\$ 6,347,000	\$ 2,962,000	\$ 423,000	\$ 11,149,000		2.18%		\$-	\$-	\$ -
200	LHSB	Central Campus	Learning Hub Science Building	\$ 22,000	· · · · · · · · · · · · · · · · · · ·	\$ 1,000		\$-	- \$-	\$ 24,000	. ,	4.17%	. ,	\$-	\$-	\$ -
200	SIS	Central Campus	Staff Instructional Services	\$ 47,000	\$ 133,000	\$ 3,000	\$ 938,000	\$ 215,000	\$ 54,000	\$ 1,431,000	\$ 41,000	2.87%	\$-	\$ 496,000	\$-	\$ -
200	THT1	Central Campus	Theater One	\$-	\$ 79,000	\$ 3,000	\$ 943,000	\$ 269,000	\$ 162,000	\$ 1,560,000	\$ 104,000	6.67%	\$-	\$ 1,560,000	\$-	\$-
200	WW	Central Campus	West Wing	\$ 4,000	\$-	\$ -	\$-	\$	\$-	\$ 4,000	\$-	0.00%	\$ 4,000	\$-	\$-	\$-
200	GAYHL	Willie Gay Hall	Willie Gay Hall	\$ 36,000	\$ 10,000	\$ 55,000	\$-	\$ -	\$-	\$ 101,000	\$-	0.00%	\$ 99,000	\$-	\$-	\$-
300	TRANSA	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg A	\$ 18,000	\$ 110,000	\$ 656,000	\$ 1,518,000	\$ 792,000	\$ 132,000	\$ 3,316,000	\$ 90,000	2.71%	\$-	\$-	\$ 3,970,000	\$-
300	TRANSB	Automotive Tech.Training Ctr.	Auto. Tech. Training Ctr. Bldg B	\$ 18,000	\$ 16,000	\$ 656,000	\$ 543,000	\$ 272,000		\$ 1,620,000		2.90%		\$ -	\$ 873,000	
300	CODW	Codwell Hall Campus	Codwell Hall		\$ 28,000	\$ 38,000	\$ -	\$ 28,000		\$ 126,000		0.79%	*	\$ -	\$ -	\$ -
300	BLDG4	Codwell Hall Campus	Codwell Hall Shower (Temp)	\$	¢ 20,000 ¢ -	\$	¢	\$ 20,000	\$ 5,000	\$ 5,000		0.00%		¢ ¢	¢	¢ •
300	LHUB	Codwell Hall Campus		\$ 21,000	φ -	\$ 7,000	Ψ Φ	φ •	¢ 5,000	\$ 28,000		0.00%	. ,	Ψ -	φ - ¢	φ -
			Learning Hub at Northeast	÷ ,					- J -	. ,			. ,	ъ -	а с	ъ -
300	NOLN	Northline Center	Northline - New Academic Ctr.	\$ 34,000		\$ 3,000	•	⇒ -	\$ -	\$ 38,000		0.00%		\$ -	\$ -	\$-
300	PINE	Pinemont Campus	Pinemont Hall	\$ -	\$ 8,000	\$ 1,000	\$ 1,516,000	\$ 569,000	\$ -	\$ 2,094,000		0.00%		\$ 2,094,000	\$ -	\$ -
300	PSI	Codwell Hall Campus	Public Safety Institute	\$ 21,000		\$ 15,000		\$-	- \$	\$ 37,000		2.70%	. ,	\$-	\$-	\$ -
300	CTDC	Codwell Hall Campus	Roland Smith Truck Driving Ctr.	\$ 19,000	\$ 5,000	\$ 2,000	\$ 16,000	\$ 10,000	\$-	\$ 52,000	\$-	0.00%	\$ 52,000	\$-	\$-	\$-
300	STECH	Codwell Hall Campus	NE Science and Tech. Bldg	\$ 11,000	\$-	\$ 34,000	\$-	\$	- \$	\$ 45,000	\$-	0.00%	\$ 35,000	\$-	\$-	\$ -
300	CHPP	Codwell Hall Campus	Phys. Plant (Science Stor Bldg)	\$ 9,000	\$-	\$ 7,000	\$-	\$-	\$-	\$ 16,000	\$-	0.00%	\$ 16,000	\$-	\$-	\$-
400	KAML	Katy Mills Mall	Early Childhood Development	\$ 27,000	\$ 10,000	\$ 17,000	\$-	\$	- \$	\$ 54,000	\$-	0.00%	\$ 54,000	\$-	\$-	\$ -
400	COMM	Spring Branch Campus	Commons / Bookstore	\$-	\$-	\$ -	\$-	\$ -	\$-	\$ -	\$-	0.00%	\$-	\$-	\$-	\$-
400	PAC	Spring Branch Campus	Performing Arts Center	\$ 26,000	\$ 260,000	\$ 150,000	\$ 719,000	\$ 392,000	\$ -	\$ 1,583,000	\$ 36,000	2.27%	\$ -	\$ -	\$ 1,433,000	\$-
400	SCIB	Spring Branch Campus	Science Building	\$ 47,000	\$ 1,000	\$ 235,000		\$ 239,000	\$ -	\$ 641,000		0.00%		\$ -	\$ -	\$ -
400	SPBR	Spring Branch Campus	Spring Branch (Town & Country)	\$ 38,000		\$ 233,000	\$ 748,000	\$ 1,389,000	\$ -	\$ 2,422,000		0.04%	. ,	\$ -	•	\$ -
400	KATY	Katy Campus	Westgate Center	\$ 20,000		\$ 1,409,000	\$ 4,271,000	\$ 1,201,000	\$ 667,000	\$ 7,843,000		0.01%		ф 2	\$ 7,841,000	ф С
500	AM	Eastside Campus	Angela Morales Building	\$ 14,000		\$ 1,409,000 \$ 27,000	\$ 400,000	¢ 1,201,000	¢ 007,000	\$ 478,000		0.00%		φ –	¢ 7,041,000	φ -
			0 0				\$ 400,000 ¢		- J -	. ,			. ,	ъ -	а с	ъ -
500	ESAN	Eastside Campus	Eastside Annex	\$ 22,000	\$ 40,000	\$ 28,000	\$ -	<u></u> э		\$ 90,000		0.00%		\$ -	\$ -	\$ -
500	FM	Eastside Campus	Felix Morales Building	\$ 14,000	\$ 28,000	\$ 26,000	\$-	\$-	- \$ -	\$ 68,000		0.00%		\$-	\$-	\$ -
500	FFAC	Eastside Campus	Felix Fraga Academic	5 -	b -	> -	ə -	\$		\$ -	\$-	0.00%		5 -	b -	\$ -
500	OFFCTY	Eastside Campus	Office City	\$-	\$ 28,000	\$ 7,000	\$-	\$	\$-	\$ 35,000		0.00%	\$ 35,000	\$-	\$-	\$ -
500	SELH	Eastside Campus	Southeast Learning Hub	\$ 6,000	\$-	\$ 155,000	\$-	\$-	\$-	\$ 161,000	\$-	0.00%	\$ 161,000	\$-	\$-	\$-
500	TEMP1	Eastside Campus	Temp. Classrms (2 Bldgs.)	\$ -	\$ -	\$-	\$ 62,000	\$ 21,000	\$-	\$ 83,000	\$ -	0.00%	\$ 83,000	\$-	\$ -	\$ -
500	TEMP2	Eastside Campus	Temp. Classrms (6 Bldgs.)	\$-	\$-	\$-	\$ 63,000	\$ 21,000	\$-	\$ 84,000	\$ -	0.00%	\$ 84,000	\$-	\$-	\$-
600	ACEU	Alief Continuing Educ. Ctr.	Alief	\$ 35,000	\$ -	\$ 98,000	\$ -	\$	\$-	\$ 133,000	\$ -	0.00%	\$ 133,000	\$ -	\$ -	\$ -
600	MOCC	Missouri City Campus	Academic Ctr Sienna Plantation	\$ 28,000	\$-	\$ 7,000	\$-	\$ -	\$-	\$ 35,000		0.00%	\$ 35,000	\$-	\$ -	\$ -
600	ATC	Applied Technology Center	Applied Techn. Ctr. (2 Bldgs.)		\$ -	\$ 7,000		\$ 156,000	\$ 67,000					\$-	\$ 519,000	\$-
600	GRNB	Southwest Center	Greenbriar Annex	\$ -	\$ -	\$ 20,000		\$ -	\$ -	\$ 28,000		28.57%		\$ -	\$ -	\$-
600	GULF	Gulfton Center Campus	Gulfton Center	\$ 39,000		\$ 4,000		\$	\$ -	\$ 92,000				\$	\$ -	\$ -
600	ALIF	Alief Campus	Alief Campus (Hayes Road)	\$ 23,000			\$ 14,207,000	\$ 2,841,000	+	\$ 17,118,000				\$ 17,118,000	\$	\$
600	STF2	Scarcella Center	Scarcella Science & Tech. Ctr.	\$ 23,000			\$ 14,207,000 \$ 923,000	¢ 2,041,000		\$ 989,000		0.27%		¢ 17,110,000	÷ -	¢ -
				. ,				Ψ Φ 704.000	Ψ -					Ψ	Ψ - ¢	φ -
600	STAF	Stafford Campus	Stafford Campus (7 Bldgs.)	\$ 30,000				\$ 704,000	\$ 211,000					\$ 2,833,000	ъ - ф	ъ -
600	STF3	Scarcella Center	SW Stafford Learning Hub	\$ 43,000		\$ 6,000		\$		\$ 49,000		0.00%		\$-	\$ -	5 -
600	WLOP	West Loop Center	West Loop Center	\$ 34,000		\$ 7,000	\$ 3,680,000			\$ 4,791,000		0.00%		\$ -	\$ 4,791,000	\$ -
700	CHSC	Coleman Health Science Ctr.	Coleman Health Science Ctr.	\$ 12,000	\$ 6,000			\$ 517,000	\$-	\$ 623,000	\$-	0.00%	\$ 623,000	\$-	\$-	\$ -
-	-	Surface Parking	and Civil Infrastructure	\$ -	\$-	\$ 2,393,000	<u>\$</u> -	\$	\$-	\$ 2,393,000	\$-	0.00%	\$ 797,000	\$ 797,000	\$ 799,000	\$
Total(s)				\$ 1,028,000	\$ 4,055,000	\$ 7,762,000	\$ 68,261,000	\$ 22,867,000	\$ 2,990,000	\$ 107,969,000	\$ 1,005,000	0.93%	\$ 26,005,000	\$ 25,927,000	\$ 26,568,000	\$ 28,178,000





SECTION 4 SUMMARY OF RECOMMENDATIONS AND ACTION PLAN



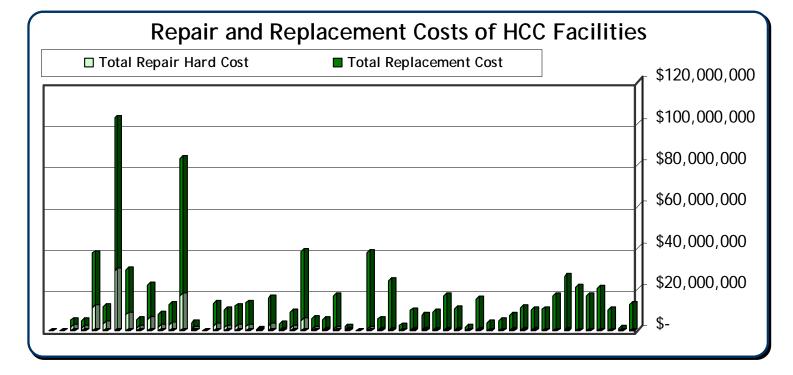


SECTION 4: SUMMARY OF RECOMMENDATIONS & ACTION PLAN

The existing Houston Community College (HCC) facilities conditions were assessed by the ESPA CORP team. The process started with retrieving the existing facilities data and information within HCC archives. Based on our experience and discussions with the HCC personnel observations and recommendations are presented for the facilities data acquisition, archival, and retrieval procedures. Also, a list was developed that identified the missing documentation of the existing facilities.

All the facilities within the HCC were assessed. The assessment was performed by systems (architectural, civil, MEP, landscape, etc.). Deficiencies in the facilities were identified by the systems and for the building components. A detailed budget cost estimate was developed for the identified deficiencies (repair cost). Also, a replacement value of the building was developed for all the HCC facilities. A ratio of the repair cost to the replacement value of the facility is reported as the Facility Cost Index (FCI), which describes the relative state of the building, categorized as Good, Fair, or Poor.

The total value of all the HCC facilities is approximately \$720 million. The total repair cost for all the identified deficiencies is about \$108 million. The repair cost for the mechanical systems is about \$70 million, which accounts for about 65% of the repair costs. The cost of repairs to the electrical systems is about \$23.4 million, which accounts for about 22% of the repair costs.



Total Repair Costs (in millions) ADA & Life Safety ■ Architecture & Interior ■ Site Infrastructure Plumbing Mechanical Electrical Landscape Facility Repair Aspect ADA & Life Safety Architecture & Interior Site Infrastructure Mechanical Electrical Plumbing Landscape

Total Repair Cost

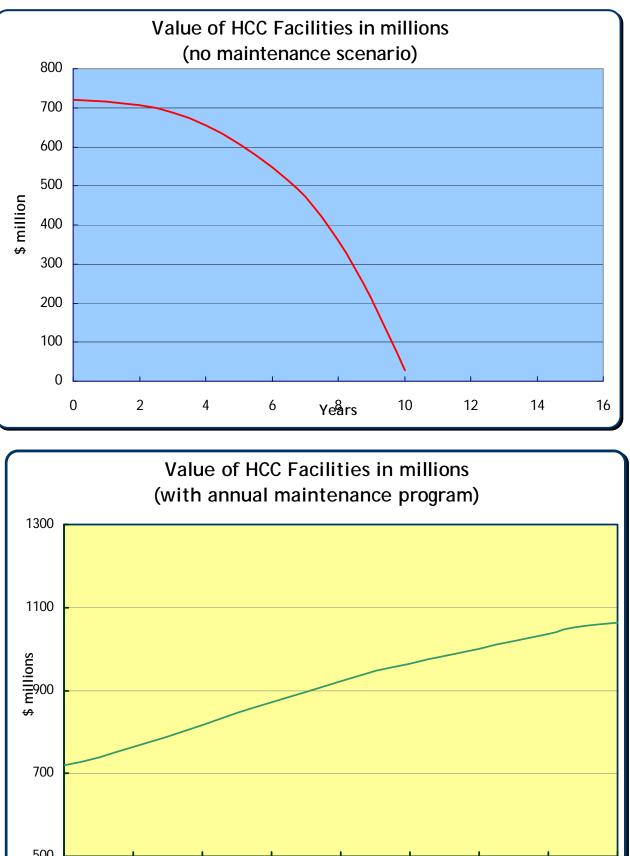


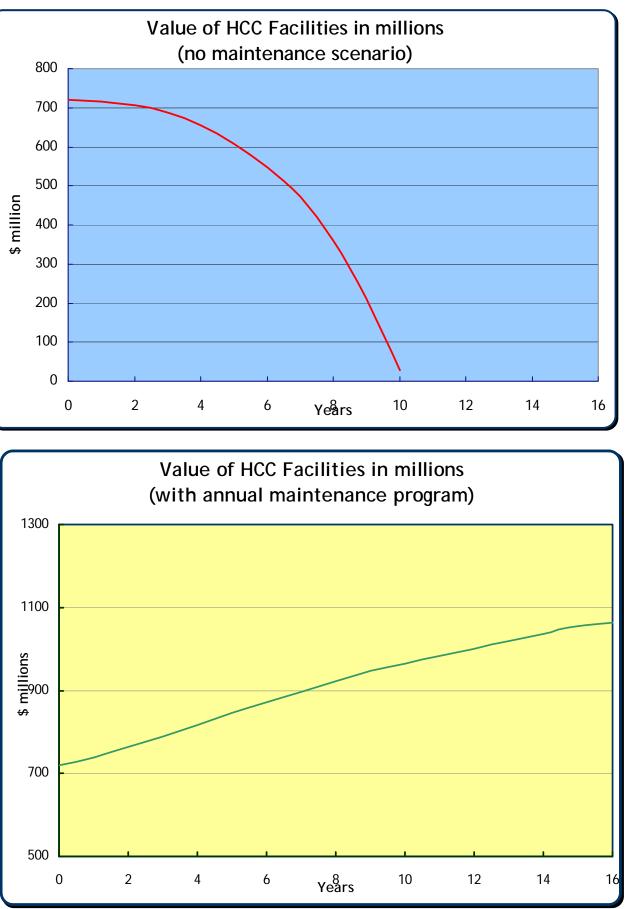
Total Rep	air Costs (in
mil	lions)
\$	1.00
\$	4.00
\$	5.40
\$	70.00
\$	23.50
\$	3.00
\$	1.00
\$	107.90



The key findings of this study are listed below:

- A review of the facilities data and information storage procedures revealed issues with the existing system and procedures within HCC. Recommendations are made to refine the existing practices that will enable efficient storing and retrieval of the facilities data and information.
- A list of missing facilities drawings and other information is presented in this report. We recommend that these drawings and information be completed to enable the facilities information archival to be complete and comprehensive.
- A total of 54 facilities were surveyed. The buildings were spread over 22 campuses. The total gross area of the buildings was approximately 4.1 million square feet. The buildings and component conditions were observed and the required repairs for each building were recorded.
- The field assessment team also interviewed, where possible, the facility maintenance and operations personnel and examined the maintenance records.
- The data on facilities and the recommended repairs are detailed in the text of this report and also presented in an electronic database. The total cost of repairs is about \$108 million.
- A majority of the repair costs is for the mechanical systems. Electrical systems repair is also a significant cost.
- A deferred maintenance budget and schedule is recommended that will enable HCC to complete all the identified repairs in four years and bring all the HCC facilities to standards.
- A replacement value for each of the facilities was developed based on 2009 dollars. The total value of HCC facilities is about \$720 million.
- Facilities require on-going maintenance and upkeep to maintain their functionality, intended use, and asset value. The existing HCC facilities require a budget of \$15 to \$28 million annually to maintain them to the present standards. The lack of an adequate level, well-planned and executed, maintenance program will reduce the value of the assets beyond their depreciation.
- Other issues identified with the facilities include:
 - Inadequate parking there seems to be a need for a system wide parking plan combined with an implementation program for upgrading existing parking areas;
 - Building Signage Increase, improve, and standardize campus and building way finding and signage;
 - o Improve campus entry ways; use HCC facilities and buildings as a branding tool to improve visibility and identity;
 - o Implement an electronic facilities data gathering, archival and retrieval system;
 - o Incorporate and implement a periodic (4 or 5-year interval) facilities condition assessment update into the HCC budgeting process;









SECTION 5 ASSESSMENT REPORTS





System

Parking Stru System Bu

ucture	 Page 5-1
uilding	 Page 5-3





HCCS FACILITIES ASSESSMENT

Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Fl
100	SYSP	Administration	Parking Structure	3220 Main St, 77002	2000	0	8
Plant material system was no	ot run during asses		quire mulch to be placed within them. All mulch water ting 4.5	ring rings for the existing trees needs to be replaced.	Street trees locat	ed on south side	of garage
The HCC Syst	tem Administration	parking structure is an 8-story parking garage. The g	garage is made of pre-cast concrete panels with a cor g correctly and is slow in responding to controls. Elev	nnector bridge to the existing administstration building	g. Provide wind/ra	in screens at ele	vator lobbi
Two DX Mech		First Floor need to be replaced. Print Shop AHU nee	eds to be replaced.	······································	· · · · · · · · · · · · · · · · · · ·	·····	<u></u>
Electrical		·····					
Sitework /	Landscape						
No deficiencie		<u></u>	<u>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>></u>	<u></u>	<u></u>	<u></u>	<u>.:.:.:</u>

Life Safety - ADA - Hazmat

Date: 11-Jun-09 Description: East elevation of Systems Parking Garage	Date: 25-Sep-09 Description: Typical elevator lobby in garage.	
<image/>	<image/>	



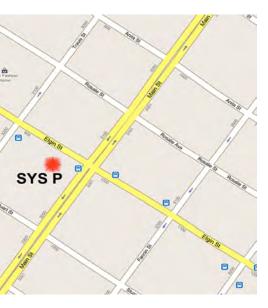


loors	Gross Area	Repair Costs	Replacement Costs	FCI
3	488,660	\$1,029,000	\$23,768,000	4.33%

e need to be pruned. Sod needs to be replaced on north west corner. Irrigation

vies to stop rain from blowing into lobbies to protect the equipment and building

Location Map





College Buildin		100 SYSP]														
Buildin		Parking Structure															
Qty.	Line Number	Description	Unit	Material	La	abor	Equipmen	t Tol	al	Extra Material	Exti Lab		Extra Equipment	 xtra(s) Total	Ov	Total erhead Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00	\$	81.50	\$ 20.00	0 \$ 2	205.50	\$ -	\$	-	\$-	\$ -	\$	281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35	\$	3.41	\$-	\$	3.76	\$-	\$	-	\$-	\$ -	\$	5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00	\$	595.00	\$ -	\$ 2,4	145.00	\$-	\$	-	\$-	\$ -	\$	3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	-	\$	108.00	\$-	\$ 1	08.00	\$-	\$	-	\$-	\$ -	\$	175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61	\$	4.39	\$ 2.03	3 \$	9.03	\$-	\$	-	\$-	\$ -	\$	11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. \$	2.20	\$	0.61	\$-	\$	2.81	\$-	\$	-	\$-	\$ -	\$	3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36	\$	0.64	\$-	\$	2.00	\$-	\$	-	\$-	\$ -	\$	2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50	\$	2.03	\$-	\$	45.53	\$-	\$	-	\$ -	\$ -	\$	51.18	\$ -
12	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00	\$	21.50	\$-	\$	71.50	\$ 600.00	\$2	58.00	\$-	\$ 858.0	0 \$	90.50	\$ 1,086.00
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50	\$	1.83	\$-	\$	3.33	\$ -	\$	-	\$-	\$ -	\$	4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12	\$	0.35	\$-	\$	0.47	\$ -	\$	-	\$ -	\$ -	\$	0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12	\$	0.41	\$ -	\$	0.53	\$-	\$	-	\$-	\$ -	\$	0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94	\$	3.31	\$-	\$	7.25	\$-	\$	-	\$-	\$ -	\$	9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50	\$	4.00	\$-	\$	52.50	\$-	\$	-	\$-	\$ -	\$	59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00	\$	45.50	\$-	\$ 6	655.50	\$-	\$	-	\$-	\$ -	\$	750.50	\$-
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50	\$	10.60	\$-	\$	19.10	\$ -	\$	-	\$-	\$ -	\$	26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	-	\$	-	\$-	\$	0.75	\$-	\$	-	\$-	\$ -	\$	0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85	\$	3.06	\$-	\$	9.91	\$-	\$	-	\$-	\$ -	\$	12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93	\$	0.97	\$-	\$	1.90	\$-	\$	-	\$-	\$ -	\$	2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F. \$	14.50	\$	8.25	\$-	\$	22.75	\$ -	\$	-	\$-	\$ -	\$	29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00	\$	145.00	\$-	\$ 8	305.00	\$-	\$	-	\$-	\$ -	\$	953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00	\$	119.00	\$-	\$ 5	599.00	\$-	\$	-	\$-	\$ -	\$	751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00	\$	29.00	\$-	\$ 2	250.00	\$-	\$	-	\$-	\$ -	\$	291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45	\$	1.45	\$-	\$	2.90	\$-	\$	-	\$-	\$ -	\$	4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00	\$	91.50	\$-	\$ 1	97.50	\$-	\$	-	\$-	\$ -	\$	280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55	\$	4.72	\$-	\$	14.27	\$-	\$	-	\$-	\$ -	\$	18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49	\$	0.83	\$ -	\$	2.32	\$-	\$	-	\$-	\$ -	\$	3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00	\$	111.00	\$ 10.30)\$3	391.30	\$-	\$	-	\$-	\$ -	\$	514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00	\$	37.50	\$ -	\$ 3	332.50	\$-	\$	-	\$-	\$ -	\$	387.00	\$-
0	-	Wood Strip Flooring	L.F. \$	3.85	\$	3.85	\$-	\$	7.70	\$-	\$	-	\$-	\$ -	\$	7.71	\$-
0	-	ADA Toilet Renovation	Ea. \$	6,000.00	\$ 6	,000.00	\$-	\$ 12,0	000.00	\$ -	\$	-	\$ -	\$ -	\$ 1	2,000.00	\$-
0	-	ADA Handrail Renovation	Run \$	700.00	\$	700.00	\$-	\$ 1,4	100.00	\$ -	\$	-	\$ -	\$ -	\$	1,400.00	\$-
0	-	Wheelchair Lift	Ea. \$	7,500.00	\$7	,500.00	\$-	\$ 15,0	00.00	\$ -	\$	-	\$-	\$ -	\$ 1	5,000.00	\$-
12	-	Elevator Signage	Ea. \$	50.00	\$	50.00	\$-	\$ 1	00.00	\$ 600.00	\$6	00.00	\$ -	\$ 1,200.0	0 \$	100.00	\$ 1,200.00
Total			<u> </u>		<u> </u>					\$ 600.00	\$ 2	58.00	\$ -	\$ 858.0	0		\$ 2,286.00

Source of Cost Data: RS Means CostWorks Version 2.8.0.0; 2009 Quarter 3 Data





Facility Condition Executive Summary

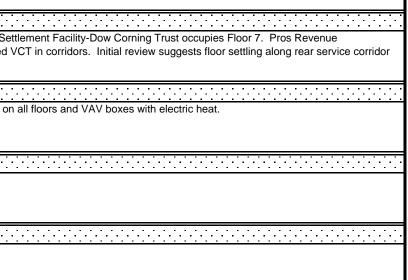
Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
100	SYSB	Administration	System Building	3100 Main St, 77002	1965	0	13	531,000	\$28,178,000	\$68,650,000	41.05%
	Landscape nor cracks in concre	te sidewalk. General Rating: 4		<u></u>		· · · · · · · · · · · · · · · · · · ·	•.•.•.	· · · · · · · · · · · · · · · · · · ·	<u></u>	<u></u>	<u></u>
The Systems Management	is on Floors 9 and 7	10. All floors have been remodeled before the tenan	ity of the building including: Floors 1-4, 11-12 and the bas ts have moved in and are in very good condition. The 1st I in cooking areas with vinyl faced ceiling tile. The 2nd floc	t floor Lobby has cracked terrazzo floors throughout	ut all corridors.						
Mechanica Though very v		st all equipment is original and needs to be replaced i	including: two main Chiller units; one smaller chiller unit;	two generators; two boilers; one small AHU servi	ng the 13th floor	administration; V	FD units on all flo	ors and VAV bo	ixes with electric heat.	·····	<u></u>
Electrical Switchgear ne	eeds updating. Two	generators need to be evaluated for replacement. E	asement Electrical Switchgear room sustained 3 feet of f	floodwater during Hurricane Ike, consider mitigatio	on efforts for futur	re storms.	<u></u>	<u></u>	<u></u>	·····	<u></u>

Life Safety - ADA - Hazmat Life Safety fixtures were adequate.

Photographs	3		
Date:		Date: 25-Sep-09	
Description:	Southwest corner of System Building	Description: 1st Floor elevator lobby	











Colleg Buildir	e Code g Code	100 SYSB]										
	g Name	System Building	-									<u>.</u>	
Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total	Ext. Mat.	Ext. Labo	Ext. Equip.	Ext. Total	Total O&P	Ext. Total O&P
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$-	\$-	\$ -	\$-	\$ 281.00 \$, –
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$-	\$ 3.76	\$-	\$-	\$ -	\$-	\$ 5.89 \$; -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$-	\$ 2,445.00	\$-	\$-	\$ -	\$ -	\$ 3,125.00 \$, –
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$-	\$ 108.00	\$ -	\$ 108.00	\$-	\$-	\$ -	\$ -	\$ 175.00 \$; –
500	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$ 1,305.00	\$ 2,195.0	0 \$ 1,015.00	\$ 4,515.00	\$ 11.95 \$	5,975.00
500	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 1/2" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2.81	\$ 1,100.00	\$ 305.0	0 \$ -	\$ 1,405.00	\$ 3.37 \$	1,685.00
4000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$-	\$ 2.00	\$ 5,440.00	\$ 2,560.0	0 \$ -	\$ 8,000.00	\$ 2.56 \$	10,240.00
1000	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45.53	\$ 43,500.00	\$ 2,030.0	0 \$ -	\$ 45,530.00	\$ 51.18 \$	51,180.00
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$-	\$ 71.50	\$-	\$-	\$ -	\$ -	\$ 90.50 \$; -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$-	\$ 3.33	\$-	\$-	\$ -	\$ -	\$ 4.65 \$; –
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$-	\$ 0.47	\$-	\$-	\$ -	\$ -	\$ 0.69 \$; –
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$-	\$ 0.53	\$-	\$-	\$ -	\$ -	\$ 0.79 \$; –
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$-	\$ 7.25	\$-	\$-	\$ -	\$ -	\$ 9.69 \$; –
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$-	\$ 52.50	\$-	\$-	\$ -	\$ -	\$ 59.60 \$; –
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$-	\$ 655.50	\$-	\$-	\$ -	\$ -	\$ 750.50 \$; –
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$-	\$ 19.10	\$-	\$-	\$ -	\$ -	\$ 26.50 \$;
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$-	\$-	\$-	\$ 0.75	\$-	\$-	\$ -	\$ -	\$ 0.90 \$; -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$-	\$ 9.91	\$-	\$-	\$ -	\$-	\$ 12.29 \$	- ; -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$-	\$ 1.90	\$-	\$-	\$ -	\$-	\$ 2.53 \$;
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$-	\$ 22.75	\$-	\$-	\$ -	\$ -	\$ 29.20 \$; -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$ -	\$ 805.00	\$-	\$-	\$ -	\$-	\$ 953.00 \$;
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$-	\$ 599.00	\$-	\$-	\$ -	\$ -	\$ 751.00 \$;
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$-	\$ 250.00	\$-	\$-	\$ -	\$ -	\$ 291.00 \$; -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$-	\$ 2.90	\$ -	\$-	\$ -	\$ -	\$ 4.00 \$	- ; -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$-	\$ 197.50	\$-	\$-	\$ -	\$ -	\$ 280.00 \$	- ; -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$-	\$ 14.27	\$-	\$-	\$ -	\$-	\$ 18.95 \$	- ; -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$-	\$ 2.32	\$-	\$-	\$ -	\$ -	\$ 3.12 \$	- ; -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$-	\$-	\$ -	\$ -	\$ 514.35 \$; -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$-	\$ 332.50	\$-	\$-	\$ -	\$ -	\$ 387.00 \$	
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$-	\$ 7.70	\$-	\$-	\$ -	\$ -	\$ 7.71 \$;
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$-	\$ 12,000.00	\$-	\$-	\$ -	\$ -	\$ 12,000.00 \$;
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$-	\$ 1,400.00	\$-	\$-	\$ -	\$ -	\$ 1,400.00 \$	
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$-	\$ 15,000.00	\$-	\$-	\$ -	\$ -	\$ 15,000.00 \$; -
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$-	\$ 100.00	\$-	\$-	\$ -	\$ -	\$ 100.00 \$	
Total			1				1	\$ 51,345.00	\$ 7,090.0	0 \$ 1,015.00	\$ 59,450.00		69,080.00
								, , , , , , , , , , , , , , , , , , , ,	,	. , .	,	•	,





Central College

Americana Bu Business C Crawford A Curriculum Innovation C Education Development C Fine Arts C Fine Arts Center Parking Stru Heinen Th Jew Don Boney Bu J.B. Whitely Bu

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Learning Hub Science Bu

Staff Instructional Ser

Theater

West

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Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	AMER	Americana Bldg	Americana Building	811 Dallas St, 77002		0	1 1/2	30,000	\$36,000	\$5,161,000	0.70%
Sitework / L Landscape: N/		•••••••••••••••••••••••••••••••••••••••	•••••••••••••••••••••••••••••••••••••••		· <u>·············</u> ······················			·:·:·:·:·:			<u></u>
Sitework: N/A Building De	scription	······································	······································	······································		·····	·····	·····	······································		
			uston. The 7th floor is leased and used for classroon le of Standards sections 4.16.2 and 4.19.3 for clear flo	ns and computer training. Half of the 6th floor is lease oor space.	d for massage th	erapy training cl	asses. These spa	aces were built-	out within the last five ye	ars. Restrooms need to	be upda
Mechanical Mechanical Sys		lity are being maintained by the building owner CBRE	and not HCC.		·····	·		<u></u>	·····		<u></u>
Electrical	····	······································	······	······································	·····	·····	·····	····	·····	·····	<u> </u>
Electrical Syste	ems for this facility	r are being maintained by the building owner CBRE are being maintained by the building owner CBRE are building owner building owner cBRE are building owner building owner building owner cBRE are building owner building own	nd not HCC.								<u></u>

Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16.2 and 4.19.3 for clear floor space.

Photographs			
Date:	11-Jun-09	Date: 2-Jul-09	
Description:	Southwest elevation of Americana Building.	Description: Typical restroom with non ADA compliance.	









	e Code ng Code	200 AMER	-											
	ng Name	Americana Building	-											
Qty.	Line Number	Description	Unit	Vaterial	Labor	r Eq	uipment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00	\$ 81	1.50 \$	20.00	\$ 205.50	\$ -	\$-	\$ -	\$ -	\$ 281.00	\$
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35	\$ 3	3.41 \$	-	\$ 3.76	\$ -	\$-	\$ -	\$-	\$ 5.89	\$
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00	\$ 595	5.00 \$	-	\$ 2,445.00	\$-	\$-	\$-	\$-	\$ 3,125.00	\$
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	-	\$ 108	3.00 \$	-	\$ 108.00	\$-	\$-	\$ -	\$ -	\$ 175.00	\$
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61	\$ 4	4.39 \$	2.03	\$ 9.03	\$-	\$-	\$-	\$-	\$ 11.95	\$
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 1/2" x 3/32"	S.F. \$	2.20	\$ C	0.61 \$	-	\$ 2.81	\$-	\$-	\$ -	\$ -	\$ 3.37	\$
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36	\$ C	0.64 \$	-	\$ 2.00	\$-	\$-	\$ -	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50	\$ 2	2.03 \$	-	\$ 45.53	\$ -	\$-	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00	\$ 21	1.50 \$	-	\$ 71.50	\$-	\$-	\$-	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50	\$ 1	1.83 \$	-	\$ 3.33	\$-	\$ -	\$ -	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12	\$ C	0.35 \$	-	\$ 0.47	\$-	\$-	\$-	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12	\$ C	0.41 \$	-	\$ 0.53	\$ -	\$ -	\$-	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94	\$ 3	3.31 \$	-	\$ 7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50	\$ 4	4.00 \$	-	\$ 52.50	\$ -	\$-	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00	\$ 45	5.50 \$	-	\$ 655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50	\$ 10	0.60 \$	-	\$ 19.10	\$ -	\$ -	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	-	\$	- \$	-	\$ 0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85	\$ 3	3.06 \$	-	\$ 9.91	\$-	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93	\$ C	0.97 \$	-	\$ 1.90	\$-	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F. \$	14.50	\$ 8	3.25 \$	-	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00	\$ 145	5.00 \$	-	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0		Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00		9.00 \$	-	\$ 599.00		\$ -	\$ -	\$ -	\$ 751.00	•
0		Auditorium chair, veneer back, padded seat	Ea. \$	221.00		9.00 \$	-	\$ 250.00		\$ -	\$ -	\$ -	\$ 291.00	
0		Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45		1.45 \$	-	\$ 2.90		\$ -	\$ -	\$ -	\$ 4.00	
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00	\$ 91	1.50 \$	-	\$ 197.50	\$ -	\$ -	\$ -	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55	\$ 4	4.72 \$	-	\$ 14.27	\$-	\$ -	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49	\$ C	0.83 \$	-	\$ 2.32	\$ -	\$ -	\$ -	\$ -	\$ 3.12	\$
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00	\$ 111	1.00 \$	10.30	\$ 391.30	\$-	\$-	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00	\$ 37	7.50 \$	-	\$ 332.50	\$-	\$ -	\$ -	\$ -	\$ 387.00	\$
0	-	Wood Strip Flooring	L.F. \$	3.85	\$ 3	3.85 \$	-	\$ 7.70	\$-	\$-	\$ -	\$ -	\$ 7.71	\$ -
3	-	ADA Toilet Renovation	Ea. \$	6,000.00	\$ 6,000	0.00 \$	-	\$ 12,000.00	\$ 18,000.00	\$ 18,000.0	0 \$ -	\$ 36,000.00	\$ 12,000.00	\$ 36,000
0	-	ADA Handrail Renovation	Run \$	700.00	\$ 700	0.00 \$	-	\$ 1,400.00	\$ -	\$-	\$ -	\$-	\$ 1,400.00	
0	-	Wheelchair Lift	Ea. \$	7,500.00	\$ 7,500	0.00 \$	-	\$ 15,000.00	\$ -	\$-	\$ -	\$ -	\$ 15,000.00	\$
0	-	Elevator Signage	Ea. \$	50.00	\$ 50	0.00 \$	-	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$
otal			<u> </u>		<u> </u>			<u>I</u>	s -	\$ -	\$ -	\$ -		\$ 36,000.





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	BSCC	Central Campus	Business Center	1215 Holman St B, 77004	1982	0	2	36,680	\$1,872,000	\$6,191,000	30.249
Sitework / I Replace broke		urb located in the southwest corner of the building. Hea	wy debris was found in the storm sewer system, wit	h several inlets completely filled. Junction boxes	were showing signs of	wear as the bric	k mortar needs to	be renewed.	·····		<u></u>
	Center is an eleva	ated two-story building over a parking lot. The ceiling ti stair handrails and guardrails and replace with ADA co									zzo floorin;
Mechanica Rooftop Units	need to be replac			······································	·····	·	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>
Electrical	hgear needs to b	e updated. No emergency power for this facility.	······································	······································	·····	<u></u>	·····	·····	·····		
Plumbing Some plumbin	g fixtures should	be updated. Restrooms need to be updated for ADA c	ompliance.				·····	·····	·····		. <u></u>

Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16 through 4.19.

Photographs
Date: 14-Sep-09 Date: 2-Jul-09
Description: South elevation of existing building. Description: Classroom with water penetration at window head and sills.
<image/>









College C Building		200 BSCC]												
Building		Business Center													
Qty.	Line Number	Description	Unit	Materi	ial	Labor	Equipmen	it	Fotal	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 10	04.00 \$	81.50	\$ 20.00	0\$	205.50	\$ -	\$-	\$ -	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. 3	\$	0.35 \$	3.41	\$-	\$	3.76	\$-	\$ -	\$ -	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,85	50.00 \$	595.00	\$-	\$	2,445.00	\$ -	\$-	\$ -	\$-	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$-	\$	108.00	\$-	\$-	\$-	\$ -	\$ 175.00	\$-
500	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. 3	\$	2.61 \$	4.39	\$ 2.03	3 \$	9.03	\$ 1,305.00	\$ 2,195.00	\$ 1,015.00	\$ 4,515.00	\$ 11.95	\$ 5,975.00
34000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. 3	\$	2.20 \$	0.61	\$-	\$	2.81	\$ 74,800.00	\$ 20,740.00	\$-	\$ 95,540.00	\$ 3.37	\$ 114,580.00
34000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. 3	\$	1.36 \$	0.64	\$-	\$	2.00	\$ 46,240.00	\$ 21,760.00	\$-	\$ 68,000.00	\$ 2.56	\$ 87,040.00
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. 3	\$4	43.50 \$	2.03	\$-	\$	45.53	\$-	\$-	\$ -	\$-	\$ 51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$5	50.00 \$	21.50	\$-	\$	71.50	\$-	\$-	\$-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. 3	\$	1.50 \$	1.83	\$-	\$	3.33	\$ -	\$ -	\$-	\$-	\$ 4.65	\$-
30000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. 5	\$	0.12 \$	0.35	\$-	\$	0.47	\$ 3,600.00	\$ 10,500.00	\$-	\$ 14,100.00	\$ 0.69	\$ 20,700.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. 5	\$	0.12 \$	0.41	\$-	\$	0.53	\$-	\$ -	\$-	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. 3	\$	3.94 \$	3.31	\$-	\$	7.25	\$-	\$ -	\$ -	\$ -	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. 5	\$ 4	48.50 \$	4.00	\$-	\$	52.50	\$ -	\$ -	\$ -	\$ -	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 61	10.00 \$	45.50	\$-	\$	655.50	\$ -	\$ -	\$ -	\$ -	\$ 750.50	\$ -
64	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. 3	\$	8.50 \$	10.60	\$-	\$	19.10	\$ 544.00	\$ 678.40	\$ -	\$ 1,222.40	\$ 26.50	\$ 1,696.00
2000		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$-	\$	0.75	\$ -	\$ -	\$-	\$ 1,500.00	\$ 0.90	\$ 1,800.00
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. 3	\$	6.85 \$	3.06	\$-	\$	9.91	\$-	\$-	\$ -	\$-	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$-	\$	1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$1	14.50 \$	8.25	\$-	\$	22.75	\$-	\$-	\$-	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 66	60.00 \$	145.00	\$-	\$	805.00	\$ -	\$-	\$-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 48	30.00 \$	119.00	\$-	\$	599.00	\$ -	\$-	\$-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22	21.00 \$	29.00	\$-	\$	250.00	\$-	\$-	\$-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. 3	\$	1.45 \$	1.45	\$-	\$	2.90	\$ -	\$-	\$-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. S	\$ 10	06.00 \$	91.50	\$-	\$	197.50	\$ -	\$-	\$-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$-	\$	14.27	\$ -	\$-	\$-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$-	\$	2.32	\$-	\$-	\$-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 27	70.00 \$	111.00	\$ 10.30	0\$	391.30	\$ -	\$-	\$-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	95.00 \$	37.50	\$-	\$	332.50	\$-	\$-	\$-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F. 3	\$	3.85 \$	3.85	\$-	\$	7.70	\$ -	\$-	\$-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,00	00.00 \$	6,000.00	\$-	\$ 1	2,000.00	\$-	\$-	\$-	\$-	\$ 12,000.00	\$-
12	-	ADA Handrail Renovation	Run	\$ 70	00.00 \$	700.00	\$-	\$	1,400.00	\$ 8,400.00	\$ 8,400.00	\$ -	\$ 16,800.00	\$ 1,400.00	\$ 16,800.00
0	-	Wheelchair Lift	Ea.	\$ 7,50	00.00 \$	7,500.00	\$-	\$ 1	5,000.00	\$ -	\$-	\$ -	\$-	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 5	50.00 \$	50.00	\$-	\$	100.00	\$ -	\$-	\$-	\$-	\$ 100.00	\$-
otal										\$ 126,489.00	\$ 55,873.40	\$ 1,015.00	\$ 184,877.40		\$ 248,591.00





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FC
200	CRAW	Central Campus	Crawford Annex	3412 Crawford St, 77004		0	1	1,200	\$51,000	\$272,000	18.7
Sitework / I Sitework: No A					. <u></u>		<u></u>	<u></u>			<u></u>
Building De The Crawford A door needs to b	Annex building is	a one-story wood frame building. The ceiling tiles and		nd storage rooms. Paint all walls in classrooms, repai		track in break ro	om. Remove and	replace carpet	and VCT floor tiles in off	ices and restrooms. Th	ne main e
Mechanical Split DX syster		on units. Both units are over 15 years old and need to	be replaced.		·····	·····		<u></u>	<u></u>	<u></u>	<u></u>
Electrical Electrical switc	hgear needs to b	pe updated.	•••••••••••••••••••••••••••••••••••••••	·····	·····	· · · · · · · · · · · · · · · · · · ·	·····	·····		·····	<u></u>
Plumbing							· · · · · · · · · · · · · · · · · · ·				<u></u>
No plumbing de	eficiencies were	noted.									

Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16 through 4.19.

Photographs				
Date:	25-Sep-09	Date:	9-Jul-09	1
Description:	South elevation of existing building	Description:	Interior of classroom	









College C Building (200 CRAW	-												
Building I		Crawford Annex	-												
Qty.	Line Number	Description	Unit	Material	Labor	Equipment	To	al	Extra Material	Extra Labor	Ex Equip	tra oment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00 \$	81.50	\$ 20.00	\$ 2	205.50	ş -	\$-	\$	-	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35 \$	3.41	\$-	\$	3.76	ş -	\$-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00 \$	595.00	\$-	\$ 2,4	445.00 \$	6 -	\$-	\$	-	\$-	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ - \$	5 108.00	\$-	\$ 1	08.00	ş -	\$-	\$	-	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61 \$	4.39	\$ 2.03	\$	9.03	ş -	\$-	\$	-	\$-	\$ 11.95	\$ -
600	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 1/2" x 3/32"	S.F.	\$ 2.20 \$	0.61	\$-	\$	2.81 \$	1,320.00	\$ 366.	00 \$	-	\$ 1,686.00	\$ 3.37	\$ 2,022.00
1200	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36 \$	0.64	\$-	\$	2.00 \$	1,632.00	\$ 768.	00 \$	-	\$ 2,400.00	\$ 2.56	\$ 3,072.00
70	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50 \$	2.03	\$-	\$	45.53 \$	3,045.00	\$ 142.	10 \$	-	\$ 3,187.10	\$ 51.18	\$ 3,582.60
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00 \$	21.50	\$-	\$	71.50	s -	\$-	\$	-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50 \$	1.83	\$ -	\$	3.33	5 -	\$-	\$	-	\$ -	\$ 4.65	\$ -
4800	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12 \$	0.35	\$-	\$	0.47 \$	576.00	\$ 1,680.	00 \$	-	\$ 2,256.00	\$ 0.69	\$ 3,312.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12 \$	0.41	\$-	\$	0.53	6 -	\$ -	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94 \$	3.31	\$ -	\$	7.25	ş -	\$-	\$	-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50 \$	4.00	\$ -	\$	52.50	ş -	\$-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00 \$	45.50	\$ -	\$ 6	55.50	ş -	\$-	\$	-	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50 \$	10.60	\$ -	\$	19.10	6 -	\$-	\$	-	\$ -	\$ 26.50	\$-
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ - \$	-	\$-	\$	0.75	6 -	\$-	\$	-	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85 \$	3.06	\$-	\$	9.91	6 -	\$-	\$	-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93 \$	0.97	\$-	\$	1.90	6 -	\$-	\$	-	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	r L.F.	\$ 14.50 \$	8.25	\$-	\$	22.75	ş -	\$-	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00 \$	145.00	\$-	\$8	305.00	6 -	\$-	\$	-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00 \$	119.00	\$-	\$ 5	599.00	6 -	\$-	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00 \$	29.00	\$-	\$ 2	250.00	6 -	\$ -	\$	-	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45 \$	1.45	\$-	\$	2.90	6 -	\$ -	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00 \$	91.50	\$-	\$ 1	97.50	6 -	\$-	\$	-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55 \$	4.72	\$-	\$	14.27	6 -	\$ -	\$	-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49 \$	0.83	\$-	\$	2.32	6 -	\$-	\$	-	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00 \$	5 111.00	\$ 10.30	\$ 3	391.30	5 -	\$-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00 \$	37.50	\$-	\$ 3	332.50	5 -	\$-	\$	-	\$-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85 \$	3.85	\$-	\$	7.70	ş -	\$-	\$	-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00 \$	6,000.00	\$-	\$ 12,0	00.00	ş -	\$-	\$	-	\$-	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00 \$	700.00	\$-	\$ 1,4	400.00 \$	ş -	\$-	\$	-	\$-	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00 \$	7,500.00	\$-	\$ 15,0	000.00	ş -	\$-	\$	-	\$-	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00 \$	50.00	\$-	\$ 1	100.00	5 -	\$-	\$	-	\$-	\$ 100.00	\$ -
Total								\$	6,573.00	\$ 2,956.	10 \$	-	\$ 9,529.10		\$ 11,988.60





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	CIC	Central Campus	Curriculum Innovation Center	1215 Holman St C, 77004		0	1	2,000	\$121,000	\$454,000	26.65%
Sitework /		/ Building and Business Career Center	·····	·····	·····		<u></u>	<u></u>	·····	·····	<u></u>
Building D The Curriculun		er (CIC) is an one-story brick building connecting the	J. Don Boney and Business Career Center. The interio	ors have recently been updated. The ceiling tiles and	grid need to be	updated in office	s and hallways. I	Hairline cracks ir	n terrazzo at entry lobby i	needs to be repaired.	<u></u>
Mechanica Rooftop Units	need to be replace				<u></u>	<u></u>	<u></u>	<u></u>	<u></u>		<u></u>
Electrical	hgear needs to be	e updated. No emergency power for this facility.	·····	<u></u>	<u></u>	<u></u>			<u></u>	·····	<u></u>
Plumbing Some plumbin	g fixtures should b	be updated. Restrooms need to be updated for ADA of	compliance.	·····	·····		·····		·····	·····	<u></u>

Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16 through 4.19.

Photographs Date: 25-Sep-09 Description: South elevation of existing building Description: Entry lobby with cracked terrazzo
Date: 25-Sep-09 Description: South elevation of existing building Description: Entry lobby with cracked terrazzo
Description: South elevation of existing building Description: Entry lobby with cracked terrazzo





Location Map





ollege C uilding		200 CIC	1															
uilding		Curriculum Innovation Center	-															
Qty.	Line Number	Description	Unit	Mat	erial	Labor	Equ	pment	Tota	1	Extra Material	Ex Lai	tra bor	Ex Equip	tra oment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$	104.00 \$	81.5	50 \$	20.00	\$ 20)5.50 \$	-	\$	-	\$	-	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.4	41 \$	- 9	\$	3.76 \$	-	\$	-	\$	-	\$ -	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$1,	850.00 \$	595.0	00 \$	- 9	\$ 2,44	45.00 \$	-	\$	-	\$	-	\$ -	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.0	00 \$	- 9	\$10	08.00 \$	-	\$	-	\$	-	\$ -	\$ 175.00	\$-
50	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.3	39 \$	2.03	\$	9.03 \$	130.50	\$	219.50	\$	101.50	\$ 451.50	\$ 11.95	\$ 597.50
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.6	61 \$	- 9	\$	2.81 \$	-	\$	-	\$	-	\$ -	\$ 3.37	\$-
2000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.6	64 \$	- 9	\$	2.00 \$	2,720.00	\$ 1,:	280.00	\$	-	\$ 4,000.00	\$ 2.56	\$ 5,120.00
70	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$	43.50 \$	2.0	03 \$	- 9	\$ 4	45.53 \$	3,045.00	\$	142.10	\$	-	\$ 3,187.10	\$ 51.18	\$ 3,582.60
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$	50.00 \$	21.5	50 \$	- 9	\$ 7	71.50 \$	-	\$	-	\$	-	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$	1.50 \$	1.8	33 \$	- 9	\$	3.33 \$	-	\$	-	\$	-	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$	0.12 \$	0.3	35 \$	- 5	\$	0.47 \$	-	\$	-	\$	-	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$	0.12 \$	0.4	¥1 \$	- 5	\$	0.53 \$	-	\$	-	\$	-	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$	3.94 \$	3.3	31 \$	- 5	\$	7.25 \$	-	\$	-	\$	-	\$ -	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$	48.50 \$	4.0	00 \$	- 9	\$ 5	52.50 \$	-	\$	-	\$	-	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$	610.00 \$	45.5	50 \$	- 9	\$ 65	55.50 \$	-	\$	-	\$	-	\$ -	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$	8.50 \$	10.6	50 \$	- 9	\$ 1	19.10 \$	-	\$	-	\$	-	\$ -	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$	- 9	\$	0.75 \$	-	\$	-	\$	-	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$	6.85 \$	3.0	06 \$	- 5	\$	9.91 \$	-	\$	-	\$	-	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.9	97 \$	- 9	\$	1.90 \$	-	\$	-	\$	-	\$ -	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$	14.50 \$	8.2	25 \$	- 9	\$ 2	22.75 \$	-	\$	-	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$	660.00 \$	145.0	00 \$	- 5	\$80	05.00 \$	-	\$	-	\$	-	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$	480.00 \$	119.0	00 \$	- 9	\$ 59	99.00 \$	-	\$	-	\$	-	\$ -	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$	221.00 \$	29.0	00 \$	- 9	\$ 25	50.00 \$	-	\$	-	\$	-	\$ -	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.4	15 \$	- 9	\$	2.90 \$	-	\$	-	\$	-	\$ -	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$	106.00 \$	91.5	50 \$	- 9	\$ 19	97.50 \$	-	\$	-	\$	-	\$ -	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.7	72 \$	- 9	\$1	14.27 \$	-	\$	-	\$	-	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.8	33 \$	- 9	\$	2.32 \$	-	\$	-	\$	-	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$	270.00 \$	111.0	00 \$	10.30	\$ 39	91.30 \$	-	\$	-	\$	-	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$	295.00 \$	37.5	50 \$	- 9	\$ 33	32.50 \$	-	\$	-	\$	-	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.8	35 \$	- 5	\$	7.70 \$	-	\$	-	\$	-	\$ -	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$6,	000.00 \$	6,000.0	00 \$	- 5	\$ 12,00	00.00 \$	-	\$	-	\$	-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$	700.00 \$	700.0	00 \$	- 5	\$ 1,40	00.00 \$	-	\$	-	\$	-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$7,	500.00 \$	7,500.0	00 \$	- 9	\$ 15,00	00.00 \$	-	\$	-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$	50.00 \$	50.0	00 \$	- 5	\$ 10	00.00 \$	-	\$	-	\$	-	\$-	\$ 100.00	\$-
otal										\$	5,895.50	\$ 1.	641.60	\$	101.50	\$ 7,638.60		\$ 9,300.10





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	EDC	Central Campus	Educational Development Center	3214 Austin St, 77004		0	2	40,845	\$1,206,000	\$7,166,000	16.83
run during asse	to be installed in a essment as the PV	B system was currently broken.	major work, little to no play activities within existing or ts need pipes cut flush with wall. Light cracking on c			from existing plar	nting beds. Centr	al courtyard has	potential but needs maj	or work. Irrigation system	tem was no
Buildina De	scription					· · · · · · · · · · · · · · · ·					
			ions and updated interiors. Classrooms, offices and h r classrooms at all windows need gypsum board patcl		ceiling grid and carpet i	replaced to match	n updated building	throughout. Pa	int gypsum board walls i	n classrooms. Exterior	r classroom
Mechanical											
Four Rooftop U	Inits were past life	expectancy and need to be replaced.									
Electrical			·····			<u></u>	·····	•••••••••••••••••••••••••••••••••••••••	·····	· · · · · · · · · · · · · · · · · · ·	••••••
Electrical switch	hgear needs to be	updated.									
Plumbing											
No plumbing de	eficiencies were no	oted.									

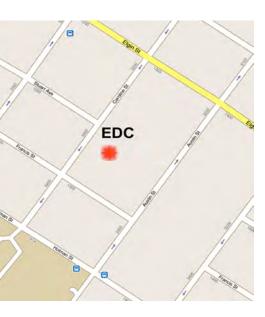
Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory.

	Sep-09	Date:		
escription: Sou	uth east elevation of existing building	Description:	Interior of reception lobby	
				All and All an





Location Map





College (Building		200 EDC]													
Building		Educational Development Center														
Qty.	Line Number	Description	Unit	Materi	al	Labor	Equipmen	t Ti	otal	Extra Material	Extra Labor	an an an an an an an an a	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 10	4.00 \$	81.50	\$ 20.00	\$	205.50	\$-	\$	- \$	· -	\$-	\$ 281.00	\$ -
800	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. 3	\$	0.35 \$	3.41	\$-	\$	3.76	\$ 280.00	\$ 2,728	8.00 \$	s -	\$ 3,008.00	\$ 5.89	\$ 4,712.00
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,85	0.00 \$	595.00	\$-	\$ 2	2,445.00	\$-	\$	- \$	- 3	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$-	\$	108.00	\$-	\$	- \$	s -	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. 3	\$	2.61 \$	4.39	\$ 2.03	\$	9.03	\$-	\$	- \$	s -	\$-	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. 3	\$	2.20 \$	0.61	\$-	\$	2.81	\$-	\$	- \$	- 3	\$-	\$ 3.37	\$-
10000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. 3	\$	1.36 \$	0.64	\$-	\$	2.00	\$ 13,600.00	\$ 6,400	0.00 \$	s -	\$ 20,000.00	\$ 2.56	\$ 25,600.00
1000	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. 3	\$ 43	3.50 \$	2.03	\$-	\$	45.53	\$ 43,500.00	\$ 2,030	0.00 \$	- 3	\$ 45,530.00	\$ 51.18	\$ 51,180.00
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 5	0.00 \$	21.50	\$-	\$	71.50	\$-	\$	- \$	s -	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. 3	\$	1.50 \$	1.83	\$-	\$	3.33	\$-	\$	- \$	ş -	\$-	\$ 4.65	\$-
5000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. 3	\$	0.12 \$	0.35	\$-	\$	0.47	600.00	\$ 1,750	0.00 \$	3 -	\$ 2,350.00	\$ 0.69	\$ 3,450.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. 3	\$	0.12 \$	0.41	\$-	\$	0.53	\$-	\$	- \$	s -	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. 3	\$	3.94 \$	3.31	\$-	\$	7.25	\$-	\$	- \$	s -	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. 3	\$ 4	8.50 \$	4.00	\$-	\$	52.50	\$-	\$	- \$	s -	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 61	0.00 \$	45.50	\$-	\$	655.50	\$-	\$	- \$	s -	\$-	\$ 750.50	\$-
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. 3	\$	8.50 \$	10.60	\$-	\$	19.10	\$-	\$	- \$; -	\$-	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$-	\$	0.75	\$-	\$	- \$	ş -	\$-	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. 3	\$	6.85 \$	3.06	\$-	\$	9.91	\$-	\$	- \$	ş -	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$-	\$	1.90	\$-	\$	- \$	s -	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	r L.F. S	\$ 1·	4.50 \$	8.25	\$-	\$	22.75	\$-	\$	- \$; -	\$-	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 66	0.00 \$	145.00	\$-	\$	805.00	\$-	\$	- \$	s -	\$-	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 48	0.00 \$	119.00	\$-	\$	599.00	\$-	\$	- \$	s -	\$-	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22	1.00 \$	29.00	\$-	\$	250.00	\$-	\$	- \$	ş -	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. 3	\$	1.45 \$	1.45	\$-	\$	2.90	\$-	\$	- \$	3 -	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 10	6.00 \$	91.50	\$-	\$	197.50	\$-	\$	- \$	ç -	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$-	\$	14.27	\$-	\$	- \$	s -	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F. 3	\$	1.49 \$	0.83	\$-	\$	2.32	\$-	\$	- \$	s -	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 27	0.00 \$	111.00	\$ 10.30	\$	391.30	\$-	\$	- \$	s -	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	5.00 \$	37.50	\$-	\$	332.50	\$-	\$	- \$	s -	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F. 3	\$	3.85 \$	3.85	\$-	\$	7.70	\$-	\$	- \$	s -	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,00	0.00 \$	6,000.00	\$-	\$ 12	2,000.00	\$-	\$	- \$	ş -	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 70	0.00 \$	700.00	\$-	\$ 1	,400.00	\$-	\$	- \$	-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,50	0.00 \$	7,500.00	\$-	\$ 15	5,000.00	\$-	\$	- \$; -	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 5	0.00 \$	50.00	\$-	\$	100.00	\$-	\$	- \$	ş -	\$-	\$ 100.00	\$ -
otal										57,980.00	\$ 12,908	.00 \$	ş -	\$ 70,888.00		\$ 84,942.00





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	FAC	Central Campus	Fine Arts Center	3517 Austin St, 77004	1986	0	3	75,000	\$2,604,000	\$13,242,000	19.66%
Current cross-		does not align with pedestrian flow. Re-sod dead area	as in shades areas along the roadway. Existing light fi	ixtures need to be replaced with College standard. Pl	anting bed on ea	ast side needs to	be filled in with m	atching plant m	aterial. Dead material to	be removed and replace	ed.
The Fine Arts	Scription Center building is a coms at all window	a three-story building with pre-cast panels and steel fr	ame structure. Recommendations are as follows: Rep I. Update and clean VCT flooring in classrooms. Rep	place all ceiling tiles and grid throughout the building. lace carpet in offices and classrooms. Repair hairling	Gypsum board e cracks in all ter	walls need to be v rrazzo floors in ha	verified to be patc Ilways on first floo	hed and painted ors.	d in classrooms and mus	c practice rooms. Head	l and sill in
Mechanica Air Handling U	nits are showing w	/ear and need to be replaced.			<u></u>	· · · · · · · · · · · · · · · · · · ·	·····	<u></u>	<u></u>		<u></u>
Electrical Electrical switc	hgear needs to be	updated.	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>	·····	·····	<u></u>	<u></u>
Restrooms nee	d ADA upgrades.	· <u>····································</u>	·····	· <u>···································</u>	· <u>·····</u> ······	· <u>····</u>	· <u>····</u> ·····	<u></u>	<u></u>	· <u>·····</u>	

Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16 through 4.19.

Photographs			
Date: 25-Sep-09	Date:	8-Jul-09	
Description: North elevation of existing building.	Description:	Typical restroom needing updating for ADA compliance.	
<image/>			









ollege C uilding C		200 FAC Fine Arts Center												
uilding C		FAC Fine Arts Center	1											
Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total		Extra laterial	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00 \$	81.50	\$ 20.00	\$ 205	.50 \$	-	\$-	\$ -	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35 \$	3.41	\$-	\$ 3	.76 \$	-	\$-	\$-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00 \$	595.00	\$-	\$ 2,445	.00 \$	-	\$-	\$-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ - \$	108.00	\$-	\$ 108	.00 \$	-	\$-	\$-	\$-	\$ 175.00	\$ -
1000	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61 \$	4.39	\$ 2.03	\$ 9	.03 \$	2,610.00	\$ 4,390.00	\$ 2,030.00	\$ 9,030.00	\$ 11.95	\$ 11,950.00
40000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20 \$	0.61	\$-	\$ 2	.81 \$ 8	38,000.00	\$ 24,400.00	\$ -	\$ 112,400.00	\$ 3.37	\$ 134,800.00
75000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36 \$	0.64	\$-	\$ 2	.00 \$ 10	02,000.00	\$ 48,000.00	\$ -	\$ 150,000.00	\$ 2.56	\$ 192,000.00
4500	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50 \$	2.03	\$-	\$ 45	.53 \$ 19	95,750.00	\$ 9,135.00	\$-	\$ 204,885.00	\$ 51.18	\$ 230,310.00
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00 \$	21.50	\$-	\$ 71	.50 \$	-	\$-	\$-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50 \$	1.83	\$-	\$ 3	.33 \$	-	\$-	\$-	\$-	\$ 4.65	\$-
40000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12 \$	0.35	\$-	\$ 0	.47 \$	4,800.00	\$ 14,000.00	\$ -	\$ 18,800.00	\$ 0.69	\$ 27,600.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12 \$	0.41	\$-	\$ 0	.53 \$	-	\$-	\$ -	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94 \$	3.31	\$ -	\$ 7	.25 \$	-	\$-	\$ -	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50 \$	4.00	\$ -	\$ 52	.50 \$	-	\$-	\$ -	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00 \$	45.50	\$ -	\$ 655	.50 \$	-	\$-	\$ -	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50 \$	10.60	\$-	\$ 19	.10 \$	-	\$-	\$-	\$-	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ - \$	-	\$-	\$ 0	.75 \$	-	\$-	\$-	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85 \$	3.06	\$ -	\$ 9	.91 \$	-	\$-	\$ -	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93 \$	0.97	\$ -	\$ 1	.90 \$	-	\$-	\$-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	r L.F.	\$ 14.50 \$	8.25	\$-	\$ 22	.75 \$	-	\$ -	\$-	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00 \$	145.00	\$-	\$ 805	.00 \$	-	\$-	\$-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00 \$	119.00	\$-	\$ 599	.00 \$	-	\$-	\$-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00 \$	29.00	\$-	\$ 250	.00 \$	-	\$-	\$-	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45 \$	1.45	\$-	\$ 2	.90 \$	-	\$-	\$-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00 \$	91.50	\$-	\$ 197	.50 \$	-	\$-	\$ -	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55 \$	4.72	\$-	\$ 14	.27 \$	-	\$-	\$ -	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49 \$	0.83	\$-	\$ 2	.32 \$	-	\$-	\$-	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00 \$	111.00	\$ 10.30	\$ 391	.30 \$	-	\$-	\$-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00 \$	37.50	\$-	\$ 332	.50 \$	-	\$-	\$ -	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.85 \$	3.85	\$-	\$ 7	.70 \$	-	\$-	\$-	\$-	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00 \$	6,000.00	\$-	\$ 12,000	.00 \$	-	\$-	\$-	\$ -	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 700.00 \$	700.00	\$-	\$ 1,400	.00 \$	-	\$-	\$-	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500.00 \$	7,500.00	\$-	\$ 15,000	.00 \$	-	\$-	\$-	\$-	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00 \$	50.00	\$-	\$ 100	.00 \$	-	\$-	\$ -	\$-	\$ 100.00	\$
otal								\$ 39	93.160.00	\$ 99,925.00	\$ 2,030.00	\$ 495.115.00		\$ 596,660.00





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	FACP	Central Campus	Fine Arts Parking Structure	3517 Austin St, 77004	1986	0	5	213,900	\$94,000	\$10,394,000	0.90%
Need to fill in I	Landscape Indian Hawthorn alc of campus. Enclose	ng perimeter, removed Ruellia and Aztec Grass. Ex trash area on east side. Existing irrigation controlle	xisting security gates do not provide adequate security r is broken and needs to be replaced.	y for campus. Re-finish cross-walk with either colored	concrete or bric	k along west side	to create presen	ce. Plastic barri	ers along west side could	d be replaced with orna	amental iro
Building D	escription Parking Structure b	uilding is a 5-story parking garage constructed of pr	e-cast concrete panels. Levels 1 thru 3 were built in la	ate 80s. Levels 4 and 5 were built in 2004. The Fine A	orts Parking Struc	ture Building is ir	n good condition.	<u></u>	·····	·····	<u></u>
Mechanica No deficiencie			······································	······································	· · · · · · · · · · · · · · · · · · ·	·····		· · · · · · · · · · · · · · · · · · ·	·····	·····	
Electrical Electrical swite	chgear needs to be	updated, except for the lighting/dimming system wh	ich was replaced recently. Lightning Protection syste	m should be added to this facility.	·	·····	· <u>·····</u>	·····			
Plumbing No deficiencie	s found				·····	<u></u>	· <u>·····</u>	·····	·····	······	

Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory.

Photographs				
Date: 9-Jul-09		Date:	9-Jul-09	1
	to parking garage on the south elevation.	Description:		74/ 1









ollege (uilding		200 FACP	-														
uilding		Fine Arts Parking Structure	1														
Qty.	Line Number	Description	Unit	Materia	al	Labor	Equipm	ent	Total	Extra Materia		xtra abor	Extra Equipme		Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104	4.00 \$	81.50	\$ 20	.00 \$	205.50	\$ -	\$	-	\$	-	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ (0.35 \$	3.41	\$	- \$	3.76	\$ -	\$	-	\$	-	\$ -	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850	0.00 \$	595.00	\$	- \$	2,445.00	\$ -	\$	-	\$	-	\$ -	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$	- \$	108.00	\$ -	\$	-	\$	-	\$ -	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2	.03 \$	9.03	\$ -	\$	-	\$	-	\$ -	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.61	\$	- \$	2.81	\$ -	\$	-	\$	-	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$	- \$	2.00	\$ -	- \$	-	\$	-	\$ -	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43	3.50 \$	2.03	\$	- \$	45.53	\$ -	\$	-	\$	-	\$ -	\$ 51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50	0.00 \$	21.50	\$	- \$	71.50	\$ -	\$	-	\$	-	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$	1.50 \$	1.83	\$	- \$	3.33	\$	\$	-	\$	-	\$-	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ (0.12 \$	0.35	\$	- \$	0.47	\$ -	\$	-	\$	-	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$	0.12 \$	0.41	\$	- \$	0.53	\$ -	\$	-	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$	3.94 \$	3.31	\$	- \$	7.25	\$ -	\$	-	\$	-	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48	8.50 \$	4.00	\$	- \$	52.50	\$ -	\$	-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610	0.00 \$	45.50	\$	- \$	655.50	\$ -	\$	-	\$	-	\$-	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$	8.50 \$	10.60	\$	- \$	19.10	\$	\$	-	\$	-	\$-	\$ 26.50	\$-
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$	- \$	0.75	\$ -	\$	-	\$	-	\$-	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ (6.85 \$	3.06	\$	- \$	9.91	\$ -	\$	-	\$	-	\$ -	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ (0.93 \$	0.97	\$	- \$	1.90	\$ -	\$	-	\$	-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 1 ₄	4.50 \$	8.25	\$	- \$	22.75	\$	\$	-	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 66	0.00 \$	145.00	\$	- \$	805.00	\$ -	\$	-	\$	-	\$ -	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480	0.00 \$	119.00	\$	- \$	599.00	\$ -	\$	-	\$	-	\$ -	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22 ⁻	1.00 \$	29.00	\$	- \$	250.00	\$ -	\$	-	\$	-	\$ -	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$	- \$	2.90	\$ -	\$	-	\$	-	\$ -	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106	6.00 \$	91.50	\$	- \$	197.50	\$ -	\$	-	\$	-	\$ -	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$	- \$	14.27	\$ -	\$	-	\$	-	\$ -	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$	- \$	2.32	\$ -	\$	-	\$	-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270	0.00 \$	111.00	\$ 10	.30 \$	391.30	\$ -	\$	-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	5.00 \$	37.50	\$	- \$	332.50	\$ -	\$	-	\$	-	\$ -	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$	- \$	7.70	\$ -	\$	-	\$	-	\$ -	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000	0.00 \$	6,000.00	\$	- \$	12,000.00	\$	\$	-	\$	-	\$ -	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 70	0.00 \$	700.00	\$	- \$	1,400.00	\$	\$	-	\$	-	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,50	0.00 \$	7,500.00	\$	- \$	15,000.00	\$	\$	-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 50	0.00 \$	50.00	\$	- \$	100.00	\$	\$	-	\$	-	\$ -	\$ 100.00	\$ -
otal										\$	· \$	-	\$	-	\$-		\$-





Facility Condition Executive Summary

ľ	College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
	200	HEINEN	Central Campus	Heinen Theater	3517 Austin St, 77004	1921	0	3	18,000	\$837,000	\$3,050,000	27.44%

Sitework / Landscape Existing Live Oak canopies on west side are blocking view of historical building architecture. Building could use formal planting at entry. Existing walls within south courtyard need to be re-finished and painted. Dead trees and plant material needs to be removed and replaced. Need to provide formal entry to stage entry - excellent opportunity within courtyard.

Sitework: Concrete sidewalk and curb to the north of the building are experiencing heavy cracking, and portions of curb are missing. Needs HCC Signage @ Austin St. General Rating 5

Building Description The Heinen Theater is a 2 -1/2 story brick building and is registered for historical preservation. Building is in good condition, but needs to be maintained to preserve historical value and updated. Remove/replace damaged ceiling tiles and grid throughout the auditorium and protect historic ceiling. Handicap lifts are not functional. Repair and paint all walls at the mezzanine level; repair gypsum board walls as needed throughout the auditorium, mezzanine, and stage area. Remove/replace wood floors at the costume storage room. Repair damaged plaster walls at both stairs due to water damage. Repair and repoint CMU walls as needed and fill cracks at stage area. Stairs and handrails need to be ADA compliant. Sound room needs to be ADA compliant. Redesign all Men's and Women's restrooms and dressing rooms to be ADA compliant. Repair accordion wall and emergency fire door at the stage. Repair exterior weathered bricks, stone and concrete for historical preservation. Building upgrades should comply with regulations given by the Historic Registry.

Mechanical AHU above stage area needs to be replaced. Motor for the handicapped lift to lower level needs to be replaced.

Electrical Electrical Electrical Electrical Electrical Switchgear needs to be updated, except for the lighting/dimming system which was replaced recently. Lightning Protection system should be added to this facility.

Plumbing.

Life Safety - ADA - Hazmat Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory. See ADA Code of Standards Section 4.1.7 for Historic Preservation, Section 4.2 for Reach Ranges, Section 4.9 for Stairs, and Section 4.16 through 4.19 for Restrooms.

Photographs Date: 7-Jul-09 Description: Northwest elevation of existing building. Description: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance. Image: Typical restroom needing updating for ADA compliance.			
Description: Northwest elevation of existing building. Description: Typical restroom needing updating for ADA compliance. Image: Complex Structure	Photographs		
	Date: 7-Jul-09	Date: 7-Jul-09	
	Description: Northwest elevation of existing building.	Description: Typical restroom needing updating for ADA compliance.	SI41 1/2









College (Building		200 HEINEN]												
Building		Heinen Theater													
Qty.	Line Number	Description	Unit	Mater	ial	Labor	Equipmer	nt	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$10	04.00 \$	81.50	\$ 20.0	0\$	205.50	\$ -	\$ -	\$ -	\$ -	\$ 281.00	\$ -
2000	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.41	\$-	\$	3.76	\$ 700.00	\$ 6,820.0	D \$ -	\$ 7,520.00	\$ 5.89	\$ 11,780.00
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,85	50.00 \$	595.00	\$-	\$	2,445.00	\$ -	\$ -	\$-	\$-	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$-	\$	108.00	\$-	\$-	\$-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2.0	3\$	9.03	\$ -	\$ -	\$-	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.61	\$ -	\$	2.81	\$ -	\$ -	\$-	\$ -	\$ 3.37	\$-
5000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$-	\$	2.00	\$ 6,800.00	\$ 3,200.0	D\$-	\$ 10,000.00	\$ 2.56	\$ 12,800.00
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$4	43.50 \$	2.03	\$-	\$	45.53	\$ -	\$-	\$ -	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$5	50.00 \$	21.50	\$-	\$	71.50	\$ -	\$-	\$-	\$ -	\$ 90.50	\$ -
400	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$	1.50 \$	1.83	\$-	\$	3.33	\$ 600.00	\$ 732.0	D \$ -	\$ 1,332.00	\$ 4.65	\$ 1,860.00
30000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$	0.12 \$	0.35	\$-	\$	0.47	\$ 3,600.00	\$ 10,500.0	D \$ -	\$ 14,100.00	\$ 0.69	\$ 20,700.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$	0.12 \$	0.41	\$-	\$	0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$	3.94 \$	3.31	\$-	\$	7.25	\$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
120	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 4	48.50 \$	4.00	\$-	\$	52.50	\$ 5,820.00	\$ 480.0	D \$ -	\$ 6,300.00	\$ 59.60	\$ 7,152.00
1	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 61	10.00 \$	45.50	\$-	\$	655.50	\$ 610.00	\$ 45.5	D \$ -	\$ 655.50	\$ 750.50	\$ 750.50
1800	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$	8.50 \$	10.60	\$-	\$	19.10	\$ 15,300.00	\$ 19,080.0	D \$ -	\$ 34,380.00	\$ 26.50	\$ 47,700.00
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$-	\$	0.75	\$-	\$-	\$-	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$	6.85 \$	3.06	\$-	\$	9.91	\$-	\$-	\$-	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$-	\$	1.90	\$-	\$ -	\$ -	\$ -	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	r L.F.	\$ 1	14.50 \$	8.25	\$ -	\$	22.75	\$ -	\$ -	\$-	\$-	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 66	60.00 \$	145.00	\$ -	\$	805.00	\$ -	\$-	\$-	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 48	30.00 \$	119.00	\$-	\$	599.00	\$ -	\$-	\$-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22	21.00 \$	29.00	\$-	\$	250.00	\$-	\$-	\$-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$-	\$	2.90	\$-	\$-	\$-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 10	06.00 \$	91.50	\$-	\$	197.50	\$ -	\$-	\$-	\$ -	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$-	\$	14.27	\$ -	\$-	\$-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$-	\$	2.32	\$-	\$-	\$-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 27	70.00 \$	111.00	\$ 10.3	0 \$	391.30	\$ -	\$-	\$-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	95.00 \$	37.50	\$-	\$	332.50	\$-	\$-	\$-	\$ -	\$ 387.00	\$-
1500	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$-	\$	7.70	\$ 5,775.00	\$ 5,775.0	D \$ -	\$ 11,550.00	\$ 7.71	\$ 11,565.00
4	-	ADA Toilet Renovation	Ea.	\$ 6,00	\$ 00.00	6,000.00	\$-	\$ 1	2,000.00	\$ 24,000.00	\$ 24,000.0	D \$ -	\$ 48,000.00	\$ 12,000.00	\$ 48,000.00
15	-	ADA Handrail Renovation	Run	\$ 70	\$ 00.00	700.00	\$-	\$	1,400.00	\$ 10,500.00	\$ 10,500.0	D \$ -	\$ 21,000.00	\$ 1,400.00	\$ 21,000.00
2	-	Wheelchair Lift	Ea.	\$ 7,50	\$ 00.00	7,500.00	\$-	\$ 1	5,000.00	\$ 15,000.00	\$ 15,000.0	D\$-	\$ 30,000.00	\$ 15,000.00	\$ 30,000.00
0	-	Elevator Signage	Ea.	\$ 5	50.00 \$	50.00	\$-	\$	100.00	\$ -	\$-	\$ -	\$ -	\$ 100.00	\$ -
otal		-								\$ 33,430.00	\$ 40,857.5	D \$ -	\$ 74,287.50	-	\$ 213,307.50





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	JDB	Central Campus	J. Don Boney Building	1215 Holman St A, 77004	1983	0	2	35,000	\$935,000	\$6,649,000	14.06%

Sitework / Landscape Sitework: Debris in most storm sewer inlets. Light fading of striping and minor chips on concrete pavement. General Rating: 4. Landscaping: N/A

Building Description The J. Don Boney building is an elevated two-story building over a parking lot. The building has undergone minor renovations within the last 10-15 years. The ceiling tiles and grid need to be replaced in all classrooms. Repair and paint all gypsum board walls in all classrooms. Repair VCT floors in all classrooms. Repair terrazzo flooring at entry lobby. Remove existing stair handrails and guardrails and replace with ADA compliant railing throughout. Existing lighting in corridors is needs to be reviewed to meet current requirements. Repair walls at exterior window head and sills. and verify exterior window system for leaks. Replace all 4" rubber wall base throughout the building in its entirety.

Mechanical Rooftop Units need to be replaced.

Electrical switchgear needs to be updated. No emergency power for this facility.

Plumbing. Some plumbing fixtures should be updated. Restrooms need to be updated for ADA compliance.

Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory. See ADA Code of Standards sections 4.16 through 4.19.

Photographs Date: 7-Jul-09 Description: South elevation of existing building Description: Classroom with water penetration and head and sills			
Description: South elevation of existing building Description: Classroom with water penetration and head and sills Image: Classic control of existing building Image: Classic control of existing building Image: Classic control of existing building	Photographs		
Description: South elevation of existing building Description: Classroom with water penetration and head and sills	Date: 14-Sep-09	Date: 7-Jul-09	
		Description: Classroom with water penetration and head and sills	
		<image/>	









College C Building C		200 JDB	-													
Building N		J. Don Boney Building														
Qty.	Line Number	Description	Unit	Material	Labor	Equipmo	ent	Total	N	Extra Material	Extra Labor	Extr Equipm	1.1.1.1.1.1.1	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00 \$	\$ 81.50	\$ 20.	00 \$	205.5	50 \$	-	\$ -	\$	-	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$ -	\$	3.7	76 \$	-	\$-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00)\$-	\$	2,445.0	\$ 00	-	\$-	\$	-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ - \$	\$ 108.00)\$-	\$	108.0	00 \$	-	\$-	\$	-	\$-	\$ 175.00	\$-
500	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61 \$	\$ 4.39	9 \$ 2.	03 \$	9.0	03 \$	1,305.00	\$ 2,195.0	0 \$ 1,01	15.00	\$ 4,515.00	\$ 11.95	\$ 5,975.00
20000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 1/2" x 3/32"	S.F.	\$ 2.20	§ 0.61	\$ -	\$	2.8	B1 \$	44,000.00	\$ 12,200.0	\$	-	\$ 56,200.00	\$ 3.37	\$ 67,400.00
20000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	§ 0.64	\$ -	\$	2.0	00 \$	27,200.00	\$ 12,800.0	\$	-	\$ 40,000.00	\$ 2.56	\$ 51,200.00
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	5 2.03	3 \$ -	\$	45.5	53 \$	-	\$-	\$	-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	§ 21.50)\$-	\$	71.5	50 \$	-	\$-	\$	-	\$-	\$ 90.50	\$ -
400	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	5 1.83	3 \$ -	\$	3.3	33 \$	600.00	\$ 732.0	D \$	-	\$ 1,332.00	\$ 4.65	\$ 1,860.00
30000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	6 0.35	5 \$ -	\$	0.4	47 \$	3,600.00	\$ 10,500.0) \$	-	\$ 14,100.00	\$ 0.69	\$ 20,700.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$ -	\$	0.5	53 \$	-	\$ -	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$ -	\$	7.2	25 \$	-	\$-	\$	-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00)\$-	\$	52.5	50 \$	-	\$-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00 \$	\$ 45.50)\$-	\$	655.5	50 \$	-	\$ -	\$	-	\$-	\$ 750.50	\$-
400		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	§ 10.60)\$-	\$	19.1	10 \$	3,400.00	\$ 4,240.0	\$	-	\$ 7,640.00	\$ 26.50	\$ 10,600.00
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ - 9	; -	\$ -	\$	0.7	75 \$	-	\$-	\$	-	\$ -	\$ 0.90	\$ -
0		Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	5 \$ -	\$	9.9	91 \$	-	\$ -	\$	-	\$ -	\$ 12.29	\$ -
4000	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93 \$	6 0.97	'\$ -	\$	1.9	90 \$	3,720.00	\$ 3,880.0) \$	-	\$ 7,600.00	\$ 2.53	\$ 10,120.00
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	r L.F.	\$ 14.50	\$ 8.25	5 \$ -	\$	22.7	75 \$	-	\$-	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00)\$-	\$	805.0	\$ 00	-	\$-	\$	-	\$-	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00)\$-	\$	599.0	\$ 00	-	\$-	\$	-	\$-	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00)\$-	\$	250.0	00 \$	-	\$-	\$	-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	5\$-	\$	2.9	90 \$	-	\$-	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50)\$-	\$	197.5	50 \$	-	\$-	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	2 \$ -	\$	14.2	27 \$	-	\$-	\$	-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	6 0.83	3 \$ -	\$	2.3	32 \$	-	\$-	\$	-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.	30 \$	391.3	30 \$	-	\$-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50)\$-	\$	332.5	50 \$	-	\$-	\$	-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	5\$-	\$	7.7	70 \$	-	\$-	\$	-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00)\$-	\$	12,000.0	00 \$	-	\$-	\$	-	\$-	\$ 12,000.00	\$-
12	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00)\$-	\$	1,400.0	00 \$	8,400.00	\$ 8,400.0	D \$	-	\$ 16,800.00	\$ 1,400.00	\$ 16,800.00
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00)\$-	\$	15,000.0	00 \$	-	\$-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00)\$-	\$	100.0	00 \$	-	\$-	\$	-	\$-	\$ 100.00	\$-
Fotal									\$	83,825.00	\$ 46,547.0	0 \$ 1,01	15.00	\$ 131,387.00		\$ 184,655.00





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	JBW	Central Campus	J.B. Whitely Bldg.	1301 Alabama St, 77004	1979	0	2	102,000	\$5,439,000	\$15,979,000	34.04%
entry, Need to	arking lot shrubs replace sod in a	. Need to create sense of place and arrival to campus Il shaded area. g road. Asphalt pavement on north side has potholes t	5 1 5	leed to weed, remove dead plant material and replace	g	,		ff area. No exte	erior lights along drop-off	area. No site furnishing	js at main
	ly building is a tw	vo-story brick veneer building. The building interiors will library. Update and replace VCT and carpet flooring in		, , , , , ,			•		0 71		•
•	off the roof prope	rly. Building settling: signs of stress in slab/wall at Me	•			·····			·····		
Chiller and five	AHU's are origir	nal and need replacement. Exhaust system on roof ne	eds to be replaced. Elevator on south side of building	g needs to be replaced. Paint booth in Painting Classro	oom needs to be	replaced. Weld	ing shop needs n	ew ventilation a	nd air compressor syster	ns.	
Electrical Electrical switc	hgear needs to b	e updated. Lightning Protection system should be add	ded to this facility. Building has no emergency power.	······································		·····	••••••••••		·····	•••••••••••••••••••••••••••••••••••••••	<u></u>
Plumbing	·····	······································		·····	····	·····	·····	·	·····	·····	<u></u>
Lower level sa	nitary sewer is no	t functioning properly. Restrooms need ADA upgrade	s. Oxygen and Natural Gas valves in the Welding sh	op need to be replaced.							<u></u>

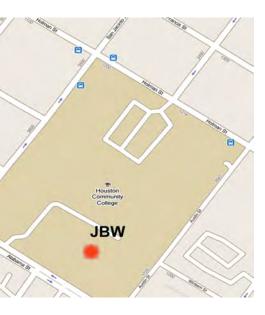
Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory but more need to be added and fixtures should be upgraded. See ADA Code of Standards sections 4.15 through 4.19.

Photographs			
Date: 14-Sep-09	Date:	25-Jun-09	
Description: South elevation of existing building.	Description:	Replace ceiling tile and verify leak in corridor.	











ollege C uilding	Code	200 JBW													
uilding l Qty.	lame Line Number	J.B. Whitely Building Description	Unit I	Material	Labor	Equipmen	t Toti	al	Extra Material	Extra Labor	Extra Equipm		Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
50	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00	81.50	\$ 20.00) \$ 2	05.50 \$	5,200.00	\$ 4,075.00) \$ 1,00	0.00	\$ 10,275.00	\$ 281.00	\$ 14,050.0
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35	3.4	\$ -	\$	3.76 \$	-	\$-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00	595.00)\$-	\$ 2,4	45.00 \$	-	\$-	\$	-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	- 9	108.00)\$-	\$ 1	08.00 \$	-	\$-	\$	-	\$-	\$ 175.00	\$-
1000	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61	4.39	\$ 2.03	3 \$	9.03 \$	2,610.00	\$ 4,390.00) \$ 2,03	0.00	\$ 9,030.00	\$ 11.95	\$ 11,950.00
50000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. \$	2.20	6 0.6 ²	\$ -	\$	2.81 \$	110,000.00	\$ 30,500.00) \$	-	\$ 140,500.00	\$ 3.37	\$ 168,500.0
30000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36	0.64	\$ -	\$	2.00 \$	40,800.00	\$ 19,200.00	\$	-	\$ 60,000.00	\$ 2.56	\$ 76,800.0
1000	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50	2.03	3 \$ -	\$	45.53 \$	43,500.00	\$ 2,030.00	\$	-	\$ 45,530.00	\$ 51.18	\$ 51,180.0
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00	21.50)\$-	\$	71.50 \$	-	\$-	\$	-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50	5 1.83	\$\$-	\$	3.33 \$	-	\$-	\$	-	\$-	\$ 4.65	\$-
30000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12	0.35	5 \$ -	\$	0.47 \$	3,600.00	\$ 10,500.00) \$	-	\$ 14,100.00	\$ 0.69	\$ 20,700.0
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12	6 0.4 ⁻	\$ -	\$	0.53 \$	-	\$-	\$	-	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94	i 3.3′	\$-	\$	7.25 \$	-	\$-	\$	-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50	4.00)\$-	\$	52.50 \$	-	\$-	\$	-	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00	45.50)\$-	\$ 6	55.50 \$	-	\$-	\$	-	\$-	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50	10.60)\$-	\$	19.10 \$	-	\$-	\$	-	\$-	\$ 26.50	\$-
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	- 4	-	\$ -	\$	0.75 \$	-	\$-	\$	-	\$-	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85	3.06	5 \$ -	\$	9.91 \$	-	\$-	\$	-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93	0.97	'\$ -	\$	1.90 \$	-	\$-	\$	-	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	r L.F. \$	14.50	8.25	5 \$ -	\$	22.75 \$	-	\$-	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00	5 145.00)\$-	\$ 8	05.00 \$	-	\$ -	\$	-	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00	5 119.00)\$-	\$ 5	99.00 \$	-	\$-	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00	29.00)\$-	\$ 2	50.00 \$	-	\$-	\$	-	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45	5 1.45	5 \$ -	\$	2.90 \$	-	\$-	\$	-	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00	91.50)\$-	\$ 1	97.50 \$	-	\$-	\$	-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55	6 4.72	2 \$ -	\$	14.27 \$	-	\$-	\$	-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49	0.83	3 \$ -	\$	2.32 \$	-	\$-	\$	-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00	5 111.00	\$ 10.30)\$3	91.30 \$	-	\$-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00	37.50)\$-	\$ 3	32.50 \$	-	\$-	\$	-	\$-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F. \$	3.85	3.85	5 \$ -	\$	7.70 \$	-	\$-	\$	-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea. \$	6,000.00	6,000.00	\$-	\$ 12,0	00.00 \$	-	\$-	\$	-	\$-	\$ 12,000.00	\$-
16	-	ADA Handrail Renovation	Run \$	700.00	5 700.00)\$-	\$ 1,4	00.00 \$	11,200.00	\$ 11,200.00) \$	-	\$ 22,400.00	\$ 1,400.00	\$ 22,400.0
0	-	Wheelchair Lift	Ea. \$	7,500.00	7,500.00	\$-	\$ 15,0	00.00 \$	-	\$-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea. \$	50.00	50.00)\$-	\$ 1	00.00 \$	-	\$-	\$	-	\$-	\$ 100.00	\$-
otal		·	• <u> </u>			•		\$	205,710.00	\$ 70,695.00	\$ 3.03	0.00	\$ 279,435.00		\$ 365,580.00





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	SJAC	Central Campus	San Jacinto Memorial	1300 Holman St, 77004	1913	0	3	172,000	\$11,327,000	\$25,464,000	44.48%

Sitework / Landscape Replace dead plant material in architectural planters. Tend to dying Asian Jasmine along front entry. West courtyard is not accessible. Replace all dead trees and plant material along east side of the building. Change existing site furnishing in south courtyard to College standard. Refer to irrigation field notes for assessment.

Sitework: Concrete parking lot on north side cracking and storm sewer system undersized. Asphalt parking lot on Southside needs to be replaced. Localized flooding on southwest side of building. Brick sanitary manholes need to be resealed. Cracking and broken sidewalks. General Rating 2

Building Description The San Jacinto Memorial is a three-story building that was originally built in 1913 with many additions. The overall building is in need of major repairs for mechanical systems, and interior improvements (finishes, ADA). The ceiling tiles and grid need to be replaced throughout the building. Repair and paint all gypsum board walls in classrooms, corridors, and offices. Repair VCT floors in all classrooms. Repair and refinish all sealed concrete floors where needed. Repair terrazzo flooring at entry corridors, and hallways. Remove existing stair handrails and guardrails and replace with ADA compliant railing at all stairs. Repair walls at exterior window head and sills and verify exterior window system for leaks.

Two temporary Trane Chillers on trailers at the SW corner of the building should be replaced by an additional chiller in the new Central Plant. VAV boxes in classrooms are old and need to be replaced. Gymnasium heating system on roof needs to be replaced.

Plumbing Restrooms need ADA upgrades.

Life Safety - ADA - Hazmat Life Safety fixtures were satisfactory but more need to be added and fixtures should be upgraded. See ADA Code of Standards sections 4.16 through 4.19.

Photographs				
Date:	14-Sep-09	Date:		
Description:	North elevation of existing building.	Description:	Patch leak in ceiling, replace ceiling tiles, and replace carpet - typical in all classrooms.	al l





SJAC No Contraction of the second sec

Location Map



College C		200													
Building Building		SJAC San Jacinto Memorial	-												
Qty.	Line Number	Description	Unit	Materia	al	Labor	Equipmer	nt	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104	4.00 \$	81.50	\$ 20.0	0\$	205.50	\$ -	\$ -	\$ -	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. 3	\$ (0.35 \$	3.41	\$-	\$	3.76	\$ -	\$-	\$-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850	0.00 \$	595.00	\$-	\$	2,445.00	\$ -	\$-	\$-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$-	\$	108.00	\$ -	\$-	\$-	\$-	\$ 175.00	\$-
2000	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. 3	\$ 2	2.61 \$	4.39	\$ 2.0	3 \$	9.03	\$ 5,220.00	\$ 8,780.00	\$ 4,060.00	\$ 18,060.00	\$ 11.95	\$ 23,900.00
80000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. 3	\$ 2	2.20 \$	0.61	\$-	\$	2.81	\$ 176,000.00	\$ 48,800.00	\$-	\$ 224,800.00	\$ 3.37	\$ 269,600.00
100000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. 3	\$	1.36 \$	0.64	\$-	\$	2.00	\$ 136,000.00	\$ 64,000.00	\$-	\$ 200,000.00	\$ 2.56	\$ 256,000.00
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. 3	\$ 43	3.50 \$	2.03	\$-	\$	45.53	\$ -	\$-	\$-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50	0.00 \$	21.50	\$-	\$	71.50	\$ -	\$-	\$-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. 3	\$	1.50 \$	1.83	\$-	\$	3.33	\$ -	\$-	\$-	\$-	\$ 4.65	\$ -
150000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. 3	\$ (0.12 \$	0.35	\$-	\$	0.47	\$ 18,000.00	\$ 52,500.00	\$-	\$ 70,500.00	\$ 0.69	\$ 103,500.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. 3	\$ (0.12 \$	0.41	\$-	\$	0.53	\$-	\$-	\$-	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. 3	\$	3.94 \$	3.31	\$-	\$	7.25	\$ -	\$-	\$-	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. 3	\$ 48	8.50 \$	4.00	\$-	\$	52.50	\$-	\$-	\$-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610	0.00 \$	45.50	\$-	\$	655.50	\$ -	\$-	\$-	\$-	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. 3	\$8	8.50 \$	10.60	\$-	\$	19.10	\$ -	\$-	\$ -	\$-	\$ 26.50	\$ -
15000		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$-	\$	0.75	\$ -	\$ -	\$ -	\$ 11,250.00	\$ 0.90	\$ 13,500.00
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. 3	\$ (6.85 \$	3.06	\$-	\$	9.91	\$ -	\$-	\$ -	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. 3	\$ (0.93 \$	0.97	\$-	\$	1.90	\$ -	\$-	\$-	\$-	\$ 2.53	\$-
15000	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	r L.F.	\$ 1 ₄	4.50 \$	8.25	\$-	\$	22.75	\$ 217,500.00	\$ 123,750.00	\$ -	\$ 341,250.00	\$ 29.20	\$ 438,000.00
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660	0.00 \$	145.00	\$-	\$	805.00	\$ -	\$-	\$ -	\$-	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480	0.00 \$	119.00	\$-	\$	599.00	\$ -	\$-	\$ -	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22	1.00 \$	29.00	\$-	\$	250.00	\$ -	\$ -	\$ -	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. 3	\$	1.45 \$	1.45	\$-	\$	2.90	\$ -	\$-	\$ -	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. S	\$ 100	6.00 \$	91.50	\$-	\$	197.50	\$ -	\$-	\$-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9	9.55 \$	4.72	\$-	\$	14.27	\$ -	\$-	\$-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$-	\$	2.32	\$-	\$-	\$-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270	0.00 \$	111.00	\$ 10.3	0\$	391.30	\$ -	\$-	\$-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	5.00 \$	37.50	\$-	\$	332.50	\$ -	\$-	\$-	\$-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F. 3	\$	3.85 \$	3.85	\$ -	\$	7.70	\$ -	\$ -	\$ -	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000	0.00 \$	6,000.00	\$-	\$ 1	2,000.00	\$ -	\$-	\$ -	\$ -	\$ 12,000.00	\$ -
22	-	ADA Handrail Renovation	Run	\$ 700	0.00 \$	700.00	\$-	\$	1,400.00	\$ 15,400.00	\$ 15,400.00	\$ -	\$ 30,800.00	\$ 1,400.00	\$ 30,800.00
0	-	Wheelchair Lift	Ea.	\$ 7,500	0.00 \$	7,500.00	\$-	\$ 1	5,000.00	\$ -	\$-	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50	0.00 \$	50.00	\$-	\$	100.00	\$ -	\$-	\$ -	\$ -	\$ 100.00	\$ -
otal										\$ 552,720.00	\$ 297,830.00	\$ 4,060.00	\$ 865,860.00		\$ 1,135,300.00





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	LHSB	Central Campus	Learning Hub Science Building	1300 Holman St, 77004	2008	0	4	120,000	\$24,000	\$19,966,000	0.12%

Sitework / Landscape Replace dead street trees along north side. Replace dead plant material in front of main building entry. Adjust grade in all front entry beds, currently approx. 4" below grade. Need building signage - typical for a majority of campus. Need to provide College standard site furnishing in established seating areas. Place mulch watering rings along all newly installed trees. Adjust existing light fixtures along east side of building. Refer to irrigation site assessment for irrigation notes. Sitework Two inlets need to be lowered and have the surroundings sloped to drain. General Rating 5

Building Description The Learning Hub Science Building is a four-story building is a concrete and steel structure, with exterior curtain wall, metal panels and masonry. Upon inspection, this building has no issues with finishes and/or equipment. The building was still under warranty at the time of inspection.

Mechanical No deficiencies were noted.

Electrical No deficiencies were noted.

Plumbing No deficiencies were noted.

Life Safety + ADA - Hazmat No deficiencies were noted.

Photographs		
Date: 14-Sep-09	Date: 26-Jun-09	
<text></text>	<text></text>	









ollege (uilding		200 LHSB	-															
uilding		LISB Learning Hub Science Building	1															
Qty.	Line Number	Description	Unit	Material		Labor	Equipn	ient	Total	Ext Mate		Extra Labor	E	Extra quipment	· . · . · . · . · . · . ·	tra(s) otal	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.	00 \$	81.50	\$ 20	0.00 \$	205.5	0 \$	-	\$	- \$	-	\$	-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.	35 \$	3.41	\$	- \$	3.7	6\$	-	\$	- \$	-	\$	-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.	00 \$	595.00	\$	- \$	2,445.0	0 \$	-	\$	- \$	-	\$	-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$-	\$	108.00	\$	- \$	108.0	0\$	-	\$	- \$	-	\$	-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.	61 \$	4.39	\$ 2	2.03 \$	9.0	3 \$	-	\$	- \$	-	\$	-	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.	20 \$	0.61	\$	- \$	2.8	1 \$	-	\$	- \$	-	\$	-	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.	36 \$	0.64	\$	- \$	2.0	0 \$	-	\$	- \$	-	\$	-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.	50 \$	2.03	\$	- \$	45.5	3 \$	-	\$	- \$	-	\$	-	\$ 51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.	00 \$	21.50	\$	- \$	71.5	0 \$	-	\$	- \$	-	\$	-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.	50 \$	1.83	\$	- \$	3.3	3 \$	-	\$	- \$	-	\$	-	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.	2 \$	0.35	\$	- \$	0.4	7 \$	-	\$	- \$	-	\$	-	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.	2 \$	0.41	\$	- \$	0.5	3 \$	-	\$	- \$	-	\$	-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.	94 \$	3.31	\$	- \$	7.2	5\$	-	\$	- \$	-	\$	-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.	50 \$	4.00	\$	- \$	52.5	0 \$	-	\$	- \$	-	\$	-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.	00 \$	45.50	\$	- \$	655.5	0 \$	-	\$	- \$	-	\$	-	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.	50 \$	10.60	\$	- \$	19.1	0 \$	-	\$	- \$	-	\$	-	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$	-	\$	- \$	0.7	5 \$	-	\$	- \$	-	\$	-	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.	85 \$	3.06	\$	- \$	9.9	1 \$	-	\$	- \$	-	\$	-	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.	93 \$	0.97	\$	- \$	1.9	0 \$	-	\$	- \$	-	\$	-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	r L.F.	\$ 14.	50 \$	8.25	\$	- \$	22.7	5\$	-	\$	- \$	-	\$	-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.	00 \$	145.00	\$	- \$	805.0	0 \$	-	\$	- \$	-	\$	-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.	00 \$	119.00	\$	- \$	599.0	0 \$	-	\$	- \$	-	\$	-	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.	00 \$	29.00	\$	- \$	250.0	0 \$	-	\$	- \$	-	\$	-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$1.	15 \$	1.45	\$	- \$	2.9	0 \$	-	\$	- \$	-	\$	-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.	00 \$	91.50	\$	- \$	197.5	0 \$	-	\$	- \$	-	\$	-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.	55 \$	4.72	\$	- \$	14.2	7 \$	-	\$	- \$	-	\$	-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$1.	19 \$	0.83	\$	- \$	2.3	2 \$	-	\$	- \$	-	\$	-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.	00 \$	111.00	\$ 10	.30 \$	391.3	0 \$	-	\$	- \$	-	\$	-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.	00 \$	37.50	\$	- \$	332.5	0 \$	-	\$	- \$	-	\$	-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.	85 \$	3.85	\$	- \$	7.7	0 \$	-	\$	- \$	-	\$	-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.	00 \$	6,000.00	\$	- \$	12,000.0	0 \$	-	\$	- \$	-	\$	-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 700.	00 \$	700.00	\$	- \$	1,400.0	0 \$	-	\$	- \$	-	\$	-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500.	00 \$	7,500.00	\$	- \$	15,000.0	0 \$	-	\$	- \$	-	\$	-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 50.	00 \$	50.00	\$	- \$	100.0	0 \$	-	\$	- \$	-	\$	-	\$ 100.00	\$ -
otal										\$	-	\$	- \$	-	\$	-		\$ -





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	SIS	Central Campus	Staff Instructional Services	3821 Caroline St, 77004	1961	0	2	21,800	\$496,000	\$3,907,000	12.70%

Sitework / Landscape Plant material along west parking lot needs to be replaced. Need to provide wheel stops within existing parking lot. Replace all dead plant material due to irrigation system not functioning. Need to provide prominent building signage - typical for campus. Irrigation system was not run during this assessment as it was not functioning properly.

Sitework: Light debris in storm system. Debris in sanitary manhole on Southside of building. General Rating 4

Building Description The Staff Instructional Services building is a two-story pre-engineered metal building. No windows on the exterior of the building. The building has undergone minor renovations within the last 10-15 years. The ceiling tiles and grid need to be replaced in all classrooms and offices. Repair and paint all gypsum board walls in all classrooms, hallways, and offices. Repair VCT floors throughout the entire building. Remove and replace carpet in administration offices. Remove and replace all 4" rubber wall base in classrooms and offices. Remove existing stair handrails and replace with ADA compliant railing throughout.

Mechanical Chiller needs to be replaced. AHU's need to be replaced. Mechanical rooms need A/C coverage.

Électrical Electrical switchgear very old and in need of replacement. No fire alarm in this building. No lightning protection and needs to be added.

Plumbing All Restrooms and fixtures need to be updated. No sprinklers and need to be added.

Life Safety - ADA - Hazmat New Life safety adequate but need to have new fixtures. See ADA Code of Standards sections 4.16 through 4.19.

Photographs				
Date:		Date:		
Description:	North elevation of existing building.	Description:	Typical restroom needing updating for ADA compliance.	
	<image/>			









College C Building (200 SIS	-												
Building C Building N		SIS Staff Instructional Services													
Qty.	Line Number	Description	Unit	Material	Labor	Equipmen	nt	Total	Extr Mater	1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 -	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00 \$	81.50	\$ 20.00	D \$	205.50	\$	- 9	ş -	\$ -	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35 \$	3.41	\$-	\$	3.76	\$	- 9	ş -	\$-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00 \$	595.00	\$ -	\$	2,445.00	\$	- 9	ş -	\$-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ - \$	5 108.00	\$-	\$	108.00	\$	- 5	ş -	\$-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61 \$	6 4.39	\$ 2.03	3 \$	9.03	\$	- 5	ş -	\$-	\$-	\$ 11.95	\$-
15000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 1/2" x 3/32"	S.F.	\$ 2.20 \$	6 0.61	\$ -	\$	2.81	\$ 33,00	00.00 \$	9,150.00	\$-	\$ 42,150.00	\$ 3.37	\$ 50,550.00
20000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36 \$	6 0.64	\$ -	\$	2.00	\$ 27,20	00.00 \$	12,800.00	\$-	\$ 40,000.00	\$ 2.56	\$ 51,200.00
125	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50 \$	2.03	\$ -	\$	45.53	\$ 5,43	37.50 \$	253.75	\$-	\$ 5,691.25	\$ 51.18	\$ 6,397.50
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00 \$	6 21.50	\$-	\$	71.50	\$	- 9	ş -	\$-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50 \$	5 1.83	\$ -	\$	3.33	\$	- 9	ş -	\$-	\$-	\$ 4.65	\$-
25000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12 \$	6 0.35	\$-	\$	0.47	\$ 3,00	00.00 \$	8,750.00	\$-	\$ 11,750.00	\$ 0.69	\$ 17,250.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12 \$	6 0.41	\$ -	\$	0.53	\$	- 9	ş -	\$-	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94 \$	3.31	\$ -	\$	7.25	\$	- 5	ş -	\$-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50 \$	6 4.00	\$ -	\$	52.50	\$	- 9	ş -	\$-	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00 \$	45.50	\$ -	\$	655.50	\$	- 9	\$ -	\$-	\$ -	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50 \$	5 10.60	\$ -	\$	19.10	\$	- 9	ş -	\$-	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ - \$; -	\$-	\$	0.75	\$	- 9	6 -	\$-	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85 \$	3.06	\$-	\$	9.91	\$	- 9	6 -	\$-	\$-	\$ 12.29	\$ -
3000	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93 \$	6 0.97	\$-	\$	1.90	\$ 2,79	90.00 \$	2,910.00	\$-	\$ 5,700.00	\$ 2.53	\$ 7,590.00
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50 \$	8.25	\$-	\$	22.75	\$	- 9	ş -	\$-	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00 \$	6 145.00	\$-	\$	805.00	\$	- 9	ş -	\$ -	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00 \$	5 119.00	\$ -	\$	599.00	\$	- 9	ş -	\$ -	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00 \$	29.00	\$ -	\$	250.00	\$	- 9	ş -	\$-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45 \$	5 1.45	\$ -	\$	2.90	\$	- 9	ş -	\$ -	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00 \$	91.50	\$-	\$	197.50	\$	- 9	ş -	\$-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55 \$	6 4.72	\$-	\$	14.27	\$	- 9	ş -	\$ -	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49 \$	6 0.83	\$ -	\$	2.32	\$	- 9	ş -	\$ -	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00 \$	6 111.00	\$ 10.30	D \$	391.30	\$	- 9	ş -	\$ -	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00 \$	37.50	\$ -	\$	332.50	\$	- 9	ş -	\$ -	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.85 \$	3.85	\$-	\$	7.70	\$	- 9	ş -	\$ -	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00 \$	6,000.00	\$-	\$ ^	12,000.00	\$	- 5	ş -	\$-	\$-	\$ 12,000.00	\$ -
10	-	ADA Handrail Renovation	Run	\$ 700.00 \$	5 700.00	\$-	\$	1,400.00	\$ 7,00	00.00 \$	7,000.00	\$-	\$ 14,000.00	\$ 1,400.00	\$ 14,000.00
0	-	Wheelchair Lift	Ea.	\$ 7,500.00 \$	5 7,500.00	\$-	\$ 1	15,000.00	\$	- 5	ş -	\$-	\$-	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00 \$	50.00	\$ -	\$	100.00	\$	- 5	ş -	\$-	\$-	\$ 100.00	\$
Total									\$ 71,42	27.50 \$	33,863.75	\$ -	\$ 105,291.25		\$ 146,987.50





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	THT1	Central Campus	Theater One	3517 Austin St, 77004	1923	0	2	21,900	\$1,560,000	\$3,524,000	44.27%

Sitework / Landscape

Building Description The Theater One building is 2 1/2 story brick veneer building. Building is in good condition, but needs to be maintained to preserve historical value and updated. Remove/replace damaged ceiling tiles and grid in all offices and theatre and protect historic ceiling. Handicap lifts are not functional and need to be replaced with modern lifts. Stairs and handrails need to be ADA compliant. Redesign all Men's and Women's restrooms and dressing rooms to be ADA compliant. Repair and paint all walls in offices, storage areas, closets, and restrooms. Repair cracked terrazzo floors at entry lobby and connecting lobby from Fine Arts Center.

Mechanical Building switched to chilled water and hot water from new Central Plant. Since the change over the Mechanical System is not adequate to cool the building with full audience and lighting heat load. AHU's need to be increased in size to handle heat loads. Elevator needs adjustment.

Electrical Electrical Electrical Electrical Electrical Switchgear very old and in need of replacement. No lightning protection, needs to be added.

Restrooms need to be updated to ADA standards and all new fixtures. No sprinklers, need to be added.

Life Safety - ADA - Hazmat. New Life safety fixtures have been installed but only on a One-to-One basis due to historical nature of the building. See ADA Code of Standards Section 4.1.7 for Historic Preservation, Section 4.2 for Reach Ranges, Section 4.9 for Stairs, and Section 4.19 for Restrooms.

Photographs				
Date: 25-Sep-09	Date:	8-Jul-09		
Description: West elevation of existing building	Description:	Typical restroom needing upgrades for ADA compliance.]	
Description: West elevation of existing building	Description:	Typical restroom needing upgrades for ADA compliance.		Houston Community College









ollege (Juilding		200 THT1]													
Building		Theater One														
Qty.	Line Number	Description	Unit	Materi	ial	Labor	Equipmer	nt	Total	Extra Material	Extra Labor	1	xtra ipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 10	04.00 \$	81.50	\$ 20.0	0 \$	205.50	\$ -	\$-	\$	-	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. 3	\$	0.35 \$	3.41	\$-	\$	3.76	\$ -	\$-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,85	50.00 \$	595.00	\$-	\$	2,445.00	\$-	\$-	\$	-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$-	\$	108.00	\$ -	\$-	\$	-	\$-	\$ 175.00	\$-
500	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. 3	\$	2.61 \$	4.39	\$ 2.0	3 \$	9.03	\$ 1,305.00	\$ 2,195.	00 \$ 1	1,015.00	\$ 4,515.00	\$ 11.95	\$ 5,975.00
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. 3	\$	2.20 \$	0.61	\$-	\$	2.81	\$ -	\$-	\$	-	\$-	\$ 3.37	\$-
15000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. 3	\$	1.36 \$	0.64	\$-	\$	2.00	\$ 20,400.00	\$ 9,600.	00 \$	-	\$ 30,000.00	\$ 2.56	\$ 38,400.00
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. 3	\$4	43.50 \$	2.03	\$-	\$	45.53	\$-	\$-	\$	-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$5	50.00 \$	21.50	\$-	\$	71.50	\$-	\$-	\$	-	\$-	\$ 90.50	\$ -
500	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. 3	\$	1.50 \$	1.83	\$-	\$	3.33	\$ 750.00	\$ 915.	00 \$	-	\$ 1,665.00	\$ 4.65	\$ 2,325.00
35000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. 5	\$	0.12 \$	0.35	\$-	\$	0.47	\$ 4,200.00	\$ 12,250.	00 \$	-	\$ 16,450.00	\$ 0.69	\$ 24,150.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. 3	\$	0.12 \$	0.41	\$-	\$	0.53	\$ -	\$-	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. 3	\$	3.94 \$	3.31	\$-	\$	7.25	\$ -	\$-	\$	-	\$-	\$ 9.69	\$ -
120	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. 3	\$ 4	48.50 \$	4.00	\$-	\$	52.50	\$ 5,820.00	\$ 480.	00 \$	-	\$ 6,300.00	\$ 59.60	\$ 7,152.00
1	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 61	10.00 \$	45.50	\$-	\$	655.50	\$ 610.00	\$ 45.	50 \$	-	\$ 655.50	\$ 750.50	\$ 750.50
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. 3	\$	8.50 \$	10.60	\$-	\$	19.10	\$ -	\$-	\$	-	\$ -	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$-	\$	0.75	\$ -	\$ -	\$	-	\$-	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. 3	\$	6.85 \$	3.06	\$-	\$	9.91	\$ -	\$ -	\$	-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$-	\$	1.90	\$ -	\$ -	\$	-	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$1	14.50 \$	8.25	\$-	\$	22.75	\$ -	\$ -	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 66	60.00 \$	145.00	\$-	\$	805.00	\$ -	\$-	\$	-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 48	30.00 \$	119.00	\$-	\$	599.00	\$ -	\$-	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22	21.00 \$	29.00	\$-	\$	250.00	\$ -	\$-	\$	-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. 3	\$	1.45 \$	1.45	\$-	\$	2.90	\$ -	\$-	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 10	06.00 \$	91.50	\$-	\$	197.50	\$ -	\$-	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$-	\$	14.27	\$-	\$ -	\$	-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F. 3	\$	1.49 \$	0.83	\$-	\$	2.32	\$ -	\$-	\$	-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 27	70.00 \$	111.00	\$ 10.3	0 \$	391.30	\$ -	\$-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	95.00 \$	37.50	\$-	\$	332.50	\$ -	\$-	\$	-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$-	\$	7.70	\$ -	\$-	\$	-	\$ -	\$ 7.71	\$-
4	-	ADA Toilet Renovation	Ea.	\$ 6,00	00.00 \$	6,000.00	\$-	\$	12,000.00	\$ 24,000.00	\$ 24,000.	00 \$	-	\$ 48,000.00	\$ 12,000.00	\$ 48,000.00
10	-	ADA Handrail Renovation	Run	\$ 70	00.00 \$	700.00	\$-	\$	1,400.00	\$ 7,000.00	\$ 7,000.	00 \$	-	\$ 14,000.00	\$ 1,400.00	\$ 14,000.00
1	-	Wheelchair Lift	Ea.	\$ 7,50	00.00 \$	7,500.00	\$-	\$ 1	15,000.00	\$ 7,500.00	\$ 7,500.	00 \$	-	\$ 15,000.00	\$ 15,000.00	\$ 15,000.00
0	-	Elevator Signage	Ea.	\$ 5	50.00 \$	50.00	\$ -	\$	100.00	\$ -	\$-	\$	-	\$-	\$ 100.00	\$-
otal					•					\$ 33,085.00	\$ 25,485.	50 \$ 1	I,015.00	\$ 59,585.50		\$ 155,752.50





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
200	WW	Central Campus	West Wing	1300 Holman St, 77004		0	3	60,500	\$4,000	\$10,199,000	0.04%
Sitework /	Landscape		······································	·			<u></u>	<u></u>	<u></u>	<u></u>	<u></u>
Building De	escription demolished.	······································			· <u>····</u> ·	· <u>········</u>	<u></u>	<u></u>			<u></u>
Mechanica Building to be		· <u>····································</u>	· · · · · · · · · · · · · · · · · · ·	·····	· <u>·····</u>	· <u>······</u>	<u></u>	<u></u>	<u></u>	·····	
Electrical Building to be	demolished.		·····	·····	· · · · · · · · · · · · · · · · · · ·	·····	•••••••••••••••••••••••••••••••••••••••	·.·.·	<u></u>		<u></u>
Plumbing Building to be	demolished.		······································	·			· <u>····</u> ·····	·:·:·:·:·:·:	<u></u>	······	. <u></u>
Life Safety Building to be	- ADA - Hazma	nt									

Photographs			
Date: 14	4-Sep-09	Date:	
Description: E	ast elevation	Description:	
	WEST WING		





Location Map





College Code 200 Building Code WW Building Name West Wing]									
]									
Qty.	Line Number	Description	Unit I	Material	Labor	Equipment	Total Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00 \$	81.50	\$ 20.00	\$ 205.50 \$ -	\$-	\$ -	\$-	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35 \$	3.41	\$-	\$ 3.76 \$ -	\$-	\$ -	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00 \$	595.00	\$-	\$ 2,445.00 \$ -	\$-	\$ -	\$-	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	- \$	108.00	\$-	\$ 108.00 \$ -	\$-	\$ -	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61 \$	4.39	\$ 2.03	\$ 9.03 \$ -	\$-	\$ -	\$-	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. \$	2.20 \$	0.61	\$ -	\$ 2.81 \$ -	\$-	\$ -	\$-	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36 \$	0.64	\$-	\$ 2.00 \$ -	\$-	\$-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50 \$	2.03	\$-	\$ 45.53 \$ -	\$-	\$ -	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00 \$	21.50	\$-	\$ 71.50 \$ -	\$-	\$-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50 \$	1.83	\$ -	\$ 3.33 \$ -	\$ -	\$ -	\$-	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12 \$	0.35	\$ -	\$ 0.47 \$ -	\$ -	\$ -	\$-	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12 \$	0.41	\$ -	\$ 0.53 \$ -	\$ -	\$ -	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94 \$	3.31	\$-	\$ 7.25 \$ -	\$-	\$ -	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50 \$	4.00	\$ -	\$ 52.50 \$ -	\$ -	\$ -	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00 \$	45.50	\$ -	\$ 655.50 \$ -	\$ -	\$ -	\$-	\$ 750.50	\$-
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50 \$	10.60	\$ -	\$ 19.10 \$ -	\$-	\$ -	\$-	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	- \$	-	\$-	\$ 0.75 \$ -	\$-	\$-	\$-	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85 \$	3.06	\$-	\$ 9.91 \$ -	\$-	\$-	\$-	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93 \$	0.97	\$ -	\$ 1.90 \$ -	\$-	\$ -	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	· L.F. \$	14.50 \$	8.25	\$-	\$ 22.75 \$ -	\$-	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00 \$	145.00	\$-	\$ 805.00 \$ -	\$-	\$ -	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00 \$	119.00	\$ -	\$ 599.00 \$ -	\$-	\$ -	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00 \$	29.00	\$-	\$ 250.00 \$ -	\$-	\$ -	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45 \$	1.45	\$ -	\$ 2.90 \$ -	\$-	\$ -	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00 \$	91.50	\$ -	\$ 197.50 \$ -	\$-	\$ -	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55 \$	4.72	\$-	\$ 14.27 \$ -	\$-	\$ -	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49 \$	0.83	\$-	\$ 2.32 \$ -	\$-	\$ -	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00 \$	111.00	\$ 10.30	\$ 391.30 \$ -	\$-	\$-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00 \$	37.50	\$-	\$ 332.50 \$ -	\$-	\$ -	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F. \$	3.85 \$	3.85	\$-	\$ 7.70 \$ -	\$-	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea. \$	6,000.00 \$	6,000.00	\$-	\$ 12,000.00 \$ -	\$-	\$ -	\$-	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run \$	700.00 \$	700.00	\$-	\$ 1,400.00 \$ -	\$-	\$ -	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea. \$	7,500.00 \$	7,500.00	\$-	\$ 15,000.00 \$ -	\$-	\$-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea. \$	50.00 \$	50.00	\$-	\$ 100.00 \$ -	\$-	\$ -	\$-	\$ 100.00	\$-
otal							\$ -	\$ -	\$ -	\$-		\$-





Facility Condition Executive Summary

Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FC
200	GAYHL	Willie Gay Hall	Willie Gay Hall	1990 W. Airport Blvd, 77004	2003	0	1	39,000	\$99,000	\$6,821,000	1.45
Sitework /	andscape					· · · · · · · · · · · · · ·	<u></u>				
tending to, full Sitework: The Building D	of weeds and overgi inlets hold water and escription	rown. Mulch watering rings needs to be thinned ou the debris in the storm sewer system needs to be	t. Refer to irrigation site assessment notes for irrigati removed. The striping of the parking lots needs to be	e repainted. Sanitary manhole shows signs of infiltratio				the building. Pa	arking lot has no shade tre	ees within it. Existing tu	urf needs
The Willie Gay	r Hall is a one-story b	rick veneer building. Touch-up paint is needed in a	all classrooms and offices. Provide exhaust fan and	ventilation for Snack Bar/ Lounge.							
Mechanica	r	·····			· · · · · · · · · · · ·						
Mechanica Observed Out		f, should not be operated in this manner.		<u></u>	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>
	side Air unit turned o	ff, should not be operated in this manner.	<u></u>		<u></u>	<u></u>	·····	······	·····	· · · · · · · · · · · · · · · · · · ·	

Life Safety - ADA - Hazmat No deficiencies noted.

Photographs	Location Map				
Date: 11-Jun-09 Description: North elevation from W. Airport.	Date: Description:				
		Aport Bill Aport			







College Co														
Building Code Building Name		GAYHL Willie Gay Hall												
Qty.	Line Number	Description	Unit	Material	Labor	Equipm	ent	Total	Extra Material	Extra Labor	Extra Equipmen	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00	\$ 81.5	0 \$ 20	.00 \$	205.50	\$ -	\$ -	\$-	\$-	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35	\$ 3.4	1 \$	- \$	3.76	\$ -	\$-	\$-	\$-	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00	\$ 595.0	0 \$	\$	2,445.00	\$ -	\$-	\$-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	- :	\$ 108.0	0 \$	- \$	108.00	\$ -	\$-	\$-	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61	\$ 4.3	9 \$ 2	.03 \$	9.03	\$ -	\$-	\$-	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. \$	2.20	\$0.6	1 \$	- \$	2.81	\$ -	\$ -	\$-	\$-	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36	\$ 0.6	4 \$	- \$	2.00	\$ -	\$-	\$-	\$-	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50	\$ 2.0	3 \$	- \$	45.53	\$ -	\$-	\$-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00	\$ 21.5	0 \$	- \$	71.50	\$ -	\$-	\$-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50	\$1.8	3 \$	- \$	3.33	\$ -	\$-	\$-	\$-	\$ 4.65	\$ -
10000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12	\$ 0.3	5 \$	- \$	0.47	\$ 1,200.00	\$ 3,500.00	\$ -	\$ 4,700.00	\$ 0.69	\$ 6,900.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12	\$ 0.4	1 \$	- \$	0.53	\$ -	\$ -	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94	\$ 3.3	1 \$	- \$	7.25	\$ -	\$-	\$ -	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50	\$ 4.0	0 \$	- \$	52.50	\$ -	\$-	\$ -	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00	\$ 45.5	0 \$	- \$	655.50	\$ -	\$-	\$ -	\$ -	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50	\$ 10.6	0 \$	- \$	19.10	\$ -	\$-	\$ -	\$ -	\$ 26.50	\$-
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	- :	6 -	\$	- \$	0.75	\$ -	\$ -	\$ -	\$ -	\$ 0.90	\$ -
0		Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85	\$ 3.0	6 \$	- \$	9.91	\$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93	\$ 0.9	7 \$	- \$	1.90	\$ -	\$ -	\$ -	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F. \$	14.50	\$ 8.2	5 \$	- \$	22.75	\$ -	\$-	\$-	\$ -	\$ 29.20	\$ -
3	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00	\$ 145.0	0 \$	- \$	805.00	\$ 1,980.00	\$ 435.00	\$-	\$ 2,415.00	\$ 953.00	\$ 2,859.00
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00	\$ 119.0	0 \$	- \$	599.00	\$ -	\$-	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00	\$ 29.0	0 \$	- \$	250.00	\$ -	\$-	\$-	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45	\$ 1.4	5 \$	- \$	2.90	\$ -	\$-	\$ -	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00	\$ 91.5	0 \$	- \$	197.50	\$ -	\$-	\$ -	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55	\$ 4.7	2 \$	- \$	14.27	\$ -	\$-	\$ -	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49	\$ 0.8	3 \$	- \$	2.32	\$ -	\$-	\$ -	\$ -	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00	\$ 111.0	0 \$ 10	.30 \$	391.30	\$ -	\$-	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00	\$ 37.5	0 \$	- \$	332.50	\$ -	\$-	\$ -	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F. \$	3.85	\$ 3.8	5 \$	- \$	7.70	\$ -	\$-	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea. \$	6,000.00	\$ 6,000.0	0 \$	- \$	12,000.00	\$ -	\$-	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run \$	700.00	\$ 700.0	0 \$	\$	1,400.00	\$ -	\$-	\$-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea. \$	7,500.00	\$ 7,500.0	0 \$	\$	15,000.00	\$ -	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea. \$	50.00	\$ 50.0	0 \$	- \$	100.00	\$ -	\$-	\$ -	\$ -	\$ 100.00	\$ -
Total			<u> </u>						\$ 3 180 00	\$ 3,935.00	\$ -	\$ 7,115.00		\$ 9,759.00





Northeast College

Automotive Technical Training Center, Build Automotive Technical Training Center, Build Codwe

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Physical Plant (Science Storage Bui

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Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	TRANSA	Automotive Tech. Training Ctr.	Automotive Tech. Training Ctr.	4638 Airline Dr., 77022		0	1	53,658	\$3,970,000	\$7,793,000	50.94%

Sitework / Landscape Close curb cut on north west side. Sidewalk along front needs to be replaced with College standard furnishings. Parking lot perimeter fencing needs to be replaced - highly recommend installing a solid fence along perimeter. Planting beds needs to be re-mulched. No street trees along north side of building. No irrigation on-site. Sitework: The parking lots shows sign of cracking and the joints between the pavement are bad. Broken curb throughout. The sidewalk in front of the building needs to be raised. The storm sewer inlets need the inverts poured, and one inlet grate needs to be replaced. Overall Rating: 3

Building Description The Training Center is a two-story building and garage/ body shop. The exterior of the building is in good condition. The vinyl flooring needs to be replaced throughout the building at all corridors and classrooms. The entry door and storefront needs new hardware and threshold replaced. The garage/ body shop needs the concrete floor resealed and striped. The dressing/locker room shower needs to be updated and made ADA compliant.

Mechanical Six Unit Heaters in auto shop need to be replaced. Twelve DX Rooftop units need to be replaced. Window unit for office over restrooms needs to be replaced.

Electrical Electrical switchgear very old and in need of replacement. Fire alarm system needs to be replaced. No lightning protection, needs to be added.

Plumbing Restrooms need to be updated to ADA standards and all new fixtures. No sprinklers, need to be added.

Life Safety - ADA - Hazmat Life safety adequate but need to have new fixtures. See ADA Code of Standards sections 4.16 through 4.19.

Photographs				
Date:	14-Jun-09	Date:		
Description:	North elevation of existing building.	Description:	Flooring at entry lobby needs to be replaced.	
				Contraction D









ollege C uilding (300 TRANSA	-										
uilding I		Automotive Tech. Training Ceneter Bldg A	-										
Qty.	Line Number	Description	Unit	Material	Labor	Equipmen	t Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00	\$ 81.50	\$ 20.00	\$ 205.50	\$ -	\$-	\$-	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35	\$ 3.41	\$-	\$ 3.76	\$-	\$-	\$-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00	\$ 595.00	\$ -	\$ 2,445.00	\$-	\$-	\$-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	-	\$ 108.00	\$ -	\$ 108.00	\$-	\$-	\$-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61	\$ 4.39	\$ 2.03	\$ 9.03	\$-	\$-	\$-	\$-	\$ 11.95	\$-
23000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. \$	2.20	\$ 0.61	\$-	\$ 2.81	\$ 50,600.00	\$ 14,030.00	\$-	\$ 64,630.00	\$ 3.37	\$ 77,510.0
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36	\$ 0.64	\$ -	\$ 2.00	\$-	\$-	\$-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50	\$ 2.03	\$-	\$ 45.53	\$-	\$-	\$-	\$-	\$ 51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00	\$ 21.50	\$ -	\$ 71.50	\$-	\$-	\$-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50	\$ 1.83	\$ -	\$ 3.33	\$-	\$-	\$-	\$-	\$ 4.65	\$-
	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12	\$ 0.35	\$-	\$ 0.47	\$-	\$-	\$-	\$-	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12	\$ 0.41	\$-	\$ 0.53	\$-	\$-	\$-	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94	\$ 3.31	\$-	\$ 7.25	\$-	\$-	\$-	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50	\$ 4.00	\$ -	\$ 52.50	\$-	\$-	\$-	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00	\$ 45.50	\$ -	\$ 655.50	\$-	\$-	\$-	\$-	\$ 750.50	\$-
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50	\$ 10.60	\$ -	\$ 19.10	\$-	\$-	\$ -	\$-	\$ 26.50	\$-
35000	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	-	\$ -	\$ -	\$ 0.75	\$ -	\$ -	\$ -	\$ 26,250.00	\$ 0.90	\$ 31,500.0
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85	\$ 3.06	\$ -	\$ 9.91	\$ -	\$-	\$ -	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93	\$ 0.97	· \$ -	\$ 1.90	\$ -	\$-	\$ -	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F. \$	14.50	\$ 8.25	\$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00	\$ 145.00	\$ -	\$ 805.00	\$ -	\$ -	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00	\$ 119.00	\$ -	\$ 599.00	\$ -	\$-	\$ -	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00	\$ 29.00	\$ -	\$ 250.00	\$-	\$-	\$ -	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45	\$ 1.45	\$ -	\$ 2.90	\$-	\$-	\$ -	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00	\$ 91.50	\$ -	\$ 197.50	\$-	\$-	\$ -	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55	\$ 4.72	\$ -	\$ 14.27	\$-	\$-	\$ -	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49	\$ 0.83	\$ -	\$ 2.32	\$-	\$-	\$ -	\$-	\$ 3.12	\$-
2	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00	\$ 111.00	\$ 10.30	\$ 391.30	\$ 540.00	\$ 222.00	\$ 20.60	\$ 782.60	\$ 514.35	\$ 1,028.7
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00	\$ 37.50	\$ -	\$ 332.50	\$ -	\$ -	\$-	\$ -	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F. \$	3.85	\$ 3.85	\$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$-
2	-	ADA Toilet Renovation	Ea. \$	6,000.00	\$ 6,000.00	\$ -	\$ 12,000.00	\$ 12,000.00	\$ 12,000.00)\$-	\$ 24,000.00	\$ 12,000.00	\$ 24,000.0
0	-	ADA Handrail Renovation	Run \$	700.00	\$ 700.00	\$ -	\$ 1,400.00	\$-	\$ -	\$ -	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea. \$	7,500.00	\$ 7,500.00	\$ -	\$ 15,000.00	\$-	\$ -	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea. \$	50.00	\$ 50.00	\$ -	\$ 100.00	\$-	\$ -	\$ -	\$ -	\$ 100.00	\$-
otal		•	<u> </u>			•	•	\$ 51.140.00	\$ 14,252.00	\$ 20.60	\$ 91,662.60		\$ 134,038.70





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	TRANSB	Automotive Tech. Training Ctr.	Automotive Tech. Training Ctr. Bldg. B	4638 Airline Dr., 77022		0	1	18,401	\$873,000	\$2,745,000	31.80%

Sitework / Landscape Close curb cut on north west side. Sidewalk along front needs to be replaced with College standard furnishings. Parking lot perimeter fencing needs to be replace - highly recommend installing a solid fence along perimeter. Planting beds needs to be re-mulched. No street trees along north side of building. No irrigation on-site. Sitework: The parking lots shows sign of cracking and the joints between the pavement are bad. Broken curb throughout. The sidewalk in front of the building needs to be raised. The storm sewer inlets need the inverts poured, and one inlet grate needs to be replaced. Overall Rating: 3

Building Description The Training Center is a smaller garage/ body shop on the same campus as Training Center A. The exterior of the building is in good condition. The garage/ body shop needs the concrete floor resealed and striped. Restrooms need to be updated.

Mechanical Interior AHU and two exterior condenser units need to be replaced.

Electrical Electrical switchgear very old and in need of replacement. Fire alarm system needs to be replaced. No lightning protection, needs to be added.

Plumbing. Restrooms need to be updated to ADA standards and all new fixtures. No sprinklers, need to be added.

Life Safety + ADA - Hazmat Life safety adequate but need to have new fixtures. See ADA Code of Standards sections 4.16 through 4.19.

notographs		
Date: 14-Jul-09	Date: 14-Jul-09	
escription: Southwest elevation of existing building.	Description: Interior of garage/body shop.	
<image/>		And









ollege C uilding (300 TRANSB	-										
uilding l		Automotive Tech. Training Ceneter Bldg B]										
Qty.	Line Number	Description	Unit	Material	Labor	Equipmen	t Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00	\$ 81.5	0 \$ 20.00) \$ 205.50	\$ -	\$-	\$-	\$-	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35	\$ 3.4	1\$-	\$ 3.76	\$-	\$-	\$-	\$-	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00	\$ 595.0	D\$-	\$ 2,445.00	\$-	\$-	\$-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	-	\$ 108.0	D\$-	\$ 108.00	\$-	\$-	\$-	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61	\$ 4.3	9 \$ 2.03	\$ 9.03	\$-	\$-	\$-	\$-	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. \$	2.20	\$ 0.6	1\$-	\$ 2.81	\$-	\$-	\$-	\$-	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36	\$ 0.6	4 \$ -	\$ 2.00	\$-	\$-	\$-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50	\$ 2.0	3 \$ -	\$ 45.53	\$-	\$-	\$-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00	\$ 21.5	D\$-	\$ 71.50	\$-	\$-	\$-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50	\$ 1.8	3 \$ -	\$ 3.33	\$-	\$-	\$-	\$-	\$ 4.65	\$-
	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12	\$ 0.3	5\$-	\$ 0.47	\$-	\$-	\$-	\$-	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12	\$ 0.4	1\$-	\$ 0.53	\$-	\$-	\$-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94	\$ 3.3	1\$-	\$ 7.25	\$-	\$-	\$-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50	\$ 4.0	D \$ -	\$ 52.50	\$-	\$-	\$-	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00	\$ 45.5)\$-	\$ 655.50	\$-	\$-	\$-	\$-	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50	\$ 10.6	0 \$ -	\$ 19.10	\$-	\$ -	\$ -	\$-	\$ 26.50	\$-
18000	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	-	\$ -	\$ -	\$ 0.75	\$ -	\$-	\$ -	\$ 13,500.00	\$ 0.90	\$ 16,200.0
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85	\$ 3.0	6 \$ -	\$ 9.91	\$-	\$-	\$ -	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93	\$ 0.9	7 \$ -	\$ 1.90	\$-	\$ -	\$ -	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F. \$	14.50	\$ 8.2	5 \$ -	\$ 22.75	\$ -	\$ -	\$ -	\$ -	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00	\$ 145.0)\$-	\$ 805.00	\$ -	\$ -	\$-	\$-	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00	\$ 119.0)\$-	\$ 599.00	\$ -	\$ -	\$ -	\$-	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00	\$ 29.0)\$-	\$ 250.00	\$-	\$-	\$-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45	\$ 1.4	5\$-	\$ 2.90	\$-	\$-	\$-	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00	\$ 91.5)\$-	\$ 197.50	\$-	\$-	\$-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55	\$ 4.7	2 \$ -	\$ 14.27	\$-	\$-	\$-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49	\$ 0.8	3 \$ -	\$ 2.32	\$ -	\$-	\$ -	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00	\$ 111.0) \$ 10.30) \$ 391.30	\$-	\$-	\$-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00	\$ 37.5)\$-	\$ 332.50	\$ -	\$-	\$ -	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F. \$	3.85	\$ 3.8	5\$-	\$ 7.70	\$-	\$-	\$-	\$-	\$ 7.71	\$ -
2	-	ADA Toilet Renovation	Ea. \$	6,000.00	\$ 6,000.0)\$-	\$ 12,000.00	\$ 12,000.00	\$ 12,000.00	\$ -	\$ 24,000.00	\$ 12,000.00	\$ 24,000.0
0	-	ADA Handrail Renovation	Run \$	700.00	\$ 700.0	0\$-	\$ 1,400.00	\$-	\$ -	\$ -	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea. \$	7,500.00	\$ 7,500.0	0\$-	\$ 15,000.00	\$-	\$ -	\$ -	\$ -	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea. \$	50.00	\$ 50.0)\$-	\$ 100.00	\$ -	\$ -	\$-	\$ -	\$ 100.00	\$-
otal	1		<u> </u>					s -	\$-	\$-	\$ 13,500.00		\$ 40,200.0





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	CODW	Codwell Hall Campus	Codwell Hall	555 Community College Dr, 77013	1999	0	3	76,000	\$126,000	\$12,298,000	1.02%

-Sitework / Landscape Need to screen pump equipment on west side. No existing uplights installed at front entry sign. All plant material needs to be better maintained, plant material needs to be filled in, dead plant material needs to be filled in, dead plant material needs to be better maintained. planting needs to be pruned and all mulch beds filled in. Large open plaza area needs established shade. Site furnishings need to be replaced with College standard. Refer to irrigation site assessment for irrigation notes. Need to re-mulch trees on south side and replace dead sod. Sitework: A couple of locations of broken curb and cracked sidewalk. Possible localized ponding in heavy rain. General Rating 5

Building Description The Codwell Building is a three-story building about ten years old. The exterior of the building is made of a pre-finished metal panel system and in good condition. The north wing of the building was damaged from Hurricane lke and all finishes in the library and computer labs have been updated and replaced. The east window in Office 214A has cracked glazing and needs to be replaced replacing. The carpet in the office areas has had "heavy traffic" and needs to be replaced.

Mechanical No deficiencies noted.

Electrical Lightning protection damaged on lower roof, needs repair.

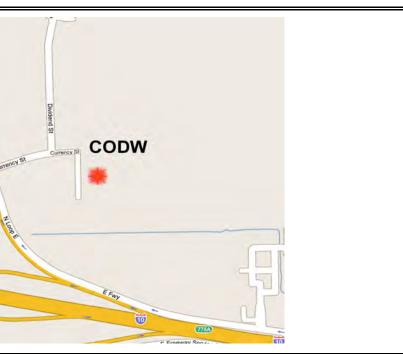
Plumbing. No deficiencies noted.

Life Safety + ADA - Hazmat No deficiencies noted.

Photographs		
Date: 12-Jul-09	Date: 12-Jul-09	5
Description: West elevation from entry drive.	Description: Restrooms currently meet ADA requirements.	39 m









ollege C uilding		300 CODW]														
uilding		Codwell Hall															
Qty.	Line Number	Description	Unit	Mate	rial	Labor	Equipn	ient	Total	Ext Mate		Extra Labor	a she she she she	xtra pment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 1	04.00 \$	81.50	\$ 20	0.00 \$	205.5	D \$	-	\$-	\$	-	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.41	\$	- \$	3.7	6 \$	-	\$-	\$	-	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,8	\$50.00	595.00	\$	- \$	2,445.0	D \$	-	\$-	\$	-	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$	- \$	108.0	D \$	-	\$-	\$	-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2	2.03 \$	9.03	3 \$	-	\$-	\$	-	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.61	\$	- \$	2.8	1 \$	-	\$-	\$	-	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$	- \$	2.0	D \$	-	\$-	\$	-	\$-	\$ 2.56	\$-
550	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. 3	\$	43.50 \$	2.03	\$	- \$	45.5	3 \$ 23,9	925.00	\$ 1,116.50	\$	-	\$ 25,041.50	\$ 51.18	\$ 28,149.00
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$	50.00 \$	21.50	\$	- \$	71.5	D \$	-	\$-	\$	-	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. 3	\$	1.50 \$	1.83	\$	- \$	3.3	3 \$	-	\$-	\$	-	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. 3	\$	0.12 \$	0.35	\$	- \$	0.4	7 \$	-	\$ -	\$	-	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. 3	\$	0.12 \$	0.41	\$	- \$	0.5	3 \$	-	\$-	\$	-	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. 3	\$	3.94 \$	3.31	\$	- \$	7.2	5 \$	-	\$-	\$	-	\$ -	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. 3	\$	48.50 \$	4.00	\$	- \$	52.5	D \$	-	\$ -	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 6	\$10.00	45.50	\$	- \$	655.5	D \$	-	\$-	\$	-	\$ -	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. 3	\$	8.50 \$	10.60	\$	- \$	19.1	D \$	-	\$-	\$	-	\$ -	\$ 26.50	\$-
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$	- \$	0.7	5 \$	-	\$-	\$	-	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$	6.85 \$	3.06	\$	- \$	9.9	1 \$	-	\$-	\$	-	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$	- \$	1.9	D \$	-	\$-	\$	-	\$ -	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$	14.50 \$	8.25	\$	- \$	22.7	5 \$	-	\$-	\$	-	\$ -	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$6	\$60.00	145.00	\$	- \$	805.0	D \$	-	\$-	\$	-	\$ -	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 4	80.00 \$	119.00	\$	- \$	599.0	D \$	-	\$-	\$	-	\$ -	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 2	21.00 \$	29.00	\$	- \$	250.0	D \$	-	\$-	\$	-	\$ -	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$	- \$	2.9	D \$	-	\$ -	\$	-	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 1	06.00 \$	91.50	\$	- \$	197.5	D \$	-	\$-	\$	-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$	- \$	14.2	7 \$	-	\$-	\$	-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$	- \$	2.3	2 \$	-	\$ -	\$	-	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 2	270.00 \$	111.00	\$ 10	.30 \$	391.3	D \$	-	\$-	\$	-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 2	95.00 \$	37.50	\$	- \$	332.5	D \$	-	\$-	\$	-	\$-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$	- \$	7.7	D \$	-	\$-	\$	-	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,0	\$ 00.00	6,000.00	\$	- \$	12,000.0	D \$	-	\$-	\$	-	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 7	/00.00 \$	700.00	\$	- \$	1,400.0	D \$	-	\$-	\$	-	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,5	\$ 00.00	7,500.00	\$	- \$	15,000.0	D \$	-	\$-	\$	-	\$ -	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$	50.00 \$	50.00	\$	- \$	100.0	D \$	-	\$-	\$	-	\$ -	\$ 100.00	\$ -
otal										\$ 23.9	25.00	\$ 1,116.50	\$	-	\$ 25,041.50		\$ 28,149.00





Facility Condition Executive Summary

College Building Code Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300 BLDG4	Codwell Hall Campus	Codwell Hall Shower (Temp)	555 Community College Dr, 77013		0	1	1,325	\$5,000	\$219,000	2.28%
Sitework / Landscape Sitework: No problems. Overall R	ating: 5			<u></u>	<u></u>	<u></u>	<u></u>			<u></u>
Building Description The Codwell Hall Shower is a terr	nporary building that is no longer in use and is off-lin	ne.		·····	· <u>······</u>	· · · · · · · · · · · ·	·····	·····		· · · · · · · · · · · · · · · · · · ·
Mechanical Mechanical Systems are old and I	beyond repair, should be replaced.	·····		· · · · · · · · · · · · · · · · · · ·	·····		·····	· <u>····</u> ·······························		<u></u>
Electrical Electrical systems to these two tra	ailers should be updated.			·····	·····	······	·····		<u></u>	· · · · · · · · · · · · · · · · · · ·
	g will need to be completely upgraded if these facili	ies are put back into use.		· · · · · · · · · · · · · · · · · · ·	·····	······	······	·····	·····	·····
Life Safety - ADA - Hazma	a <u>t </u>	<u>141-141-141-141-141-141-141-141-141-141</u>	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>
Photographs Date:		Date:					Locatior	n Map		

Life Safety - ADA - Hazmat			

Photographs		
Date:	Date:	
Description:	Description:	







ollege (uilding		300 BLDG4	-														
uilding		Codwell Hall Shower (Temp)	-														
Qty.	Line Number	Description	Unit	Materi	al	Labor	Equipm	ent	Total	Extra Materia		tra bor	Extra Equipmo		Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 10	4.00 \$	81.50	\$ 20	.00 \$	205.50	\$	- \$	-	\$	-	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.41	\$	- \$	3.76	\$	- \$	-	\$	-	\$-	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,85	0.00 \$	595.00	\$	- \$	2,445.00	\$	- \$	-	\$	-	\$-	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$	- \$	108.00	\$	- \$	-	\$	-	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2	.03 \$	9.03	\$	- \$	-	\$	-	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.61	\$	- \$	2.81	\$	- \$	-	\$	-	\$-	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$	- \$	2.00	\$	- \$	-	\$	-	\$-	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 4	3.50 \$	2.03	\$	- \$	45.53	\$	- \$	-	\$	-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$5	0.00 \$	21.50	\$	- \$	71.50	\$	- \$	-	\$	-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$	1.50 \$	1.83	\$	- \$	3.33	\$	- \$	-	\$	-	\$-	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$	0.12 \$	0.35	\$	- \$	0.47	\$	- \$	-	\$	-	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$	0.12 \$	0.41	\$	- \$	0.53	\$	- \$	-	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$	3.94 \$	3.31	\$	- \$	7.25	\$	- \$	-	\$	-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 4	8.50 \$	4.00	\$	- \$	52.50	\$	- \$	-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 61	0.00 \$	45.50	\$	- \$	655.50	\$	- \$	-	\$	-	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$	8.50 \$	10.60	\$	- \$	19.10	\$	- \$	-	\$	-	\$-	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$	- \$	0.75	\$	- \$	-	\$	-	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$	6.85 \$	3.06	\$	- \$	9.91	\$	- \$	-	\$	-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$	- \$	1.90	\$	- \$	-	\$	-	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$ 1	4.50 \$	8.25	\$	- \$	22.75	\$	- \$	-	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 66	0.00 \$	145.00	\$	- \$	805.00	\$	- \$	-	\$	-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 48	0.00 \$	119.00	\$	- \$	599.00	\$	- \$	-	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22	1.00 \$	29.00	\$	- \$	250.00	\$	- \$	-	\$	-	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$	- \$	2.90	\$	- \$	-	\$	-	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 10	6.00 \$	91.50	\$	- \$	197.50	\$	- \$	-	\$	-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$	- \$	14.27	\$	- \$	-	\$	-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$	- \$	2.32	\$	- \$	-	\$	-	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 27	0.00 \$	111.00	\$ 10	.30 \$	391.30	\$	- \$	-	\$	-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	5.00 \$	37.50	\$	- \$	332.50	\$	- \$	-	\$	-	\$-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$	- \$	7.70	\$	- \$	-	\$	-	\$-	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,00	0.00 \$	6,000.00	\$	- \$	12,000.00	\$	- \$	-	\$	-	\$-	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 70	0.00 \$	700.00	\$	- \$	1,400.00	\$	- \$	-	\$	-	\$-	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,50	0.00 \$	7,500.00	\$	- \$	15,000.00	\$	- \$	-	\$	-	\$-	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 5	0.00 \$	50.00	\$	- \$	100.00	\$	- \$	-	\$	-	\$-	\$ 100.00	\$
otal										\$	- \$	-	\$	-	\$-		\$-





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	LHUB	Codwell Hall Campus	Learning Hub at Northeast	555 Community College Dr, 77013	2009	0	3	90,000	\$28,000	\$15,011,000	0.19%
Irrigation syste	existing light pole	es. Center island planting along entry drive needs to b rring site assessment. verall Rating: 5	pe filled in. Existing Nandian along building perimeter	is dying and needs to be monitored. No site furnishi	ng at south entry	. Existing bench	along perimeter v	valkway is not C	ollege standard. No tras	h receptacles at west e	∍ntry,
Building De	-				•••••••••••••••••••••••••••••••••••••••						<u></u>
The Learning F	lub is a three-sto	ry building still under construction at the time of inspec	ctions, and inspectors were not allowed inside. The b	uilding should be open and ready for use by the end	of 2009.						
Mechanica	<u> </u>	· · · · · · · · · · · · · · · · · · ·	<u></u>	·····		· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	<u></u>
Building not ye	t completed and	were not allowed inside. Will be under full warranty.									
Electrical	•••••••••••••••••••••••••••••••••••••••		•••••••••••••••••••••••••••••••••••••••			•••••••••••••••••••••••••••••••••••••••	••••••••••		•••••••••••••••••••••••••••••••••••••••	•••••••••••••••••••••••••••••••••••••••	•••••••••••••••••••••••••••••••••••••••
Building not ye	t completed and	were not allowed inside. Will be under full warranty.									
Plumbing											
Building not ye	t completed and	were not allowed inside. Will be under full warranty.									

Life Safety - ADA - Hazmat Building not yet completed and were not allowed inside. Will be under full warranty.









ollege (uilding		300 LHUB	-														
uilding		Learning Hub at Northeast															
Qty.	Line Number	Description	Unit	Materia	al	Labor	Equipm	ent	Total	Extra Material	ter et el ester ester ester est	tra bor	Extra Equipme	ent	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104	4.00 \$	81.50	\$ 20.	00 \$	205.50	\$ -	\$	-	\$	-	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ (0.35 \$	3.41	\$ -	\$	3.76	\$-	\$	-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850	0.00 \$	595.00	\$ -	\$	2,445.00	\$-	\$	-	\$	-	\$ -	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$ -	\$	108.00	\$ -	\$	-	\$	-	\$ -	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2	2.61 \$	4.39	\$ 2.	03 \$	9.03	\$-	\$	-	\$	-	\$ -	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2	2.20 \$	0.61	\$ -	\$	2.81	\$-	\$	-	\$	-	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$ -	\$	2.00	\$-	\$	-	\$	-	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43	3.50 \$	2.03	\$ -	\$	45.53	\$ -	\$	-	\$	-	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50	0.00 \$	21.50	\$ -	\$	71.50	\$-	\$	-	\$	-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ î	1.50 \$	1.83	\$ -	\$	3.33	\$-	\$	-	\$	-	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ (0.12 \$	0.35	\$ -	\$	0.47	\$-	\$	-	\$	-	\$-	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ (0.12 \$	0.41	\$ -	\$	0.53	\$-	\$	-	\$	-	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3	3.94 \$	3.31	\$ -	\$	7.25	\$-	\$	-	\$	-	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48	8.50 \$	4.00	\$ -	\$	52.50	\$-	\$	-	\$	-	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610	0.00 \$	45.50	\$ -	\$	655.50	\$-	\$	-	\$	-	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8	8.50 \$	10.60	\$ -	\$	19.10	\$-	\$	-	\$	-	\$ -	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$ -	\$	0.75	\$-	\$	-	\$	-	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$6	6.85 \$	3.06	\$ -	\$	9.91	\$ -	\$	-	\$	-	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ (0.93 \$	0.97	\$ -	\$	1.90	\$ -	\$	-	\$	-	\$ -	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	r L.F.	\$ 14	4.50 \$	8.25	\$ -	\$	22.75	\$-	\$	-	\$	-	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660	0.00 \$	145.00	\$ -	\$	805.00	\$-	\$	-	\$	-	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480	0.00 \$	119.00	\$ -	\$	599.00	\$-	\$	-	\$	-	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221	1.00 \$	29.00	\$ -	\$	250.00	\$-	\$	-	\$	-	\$ -	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1	1.45 \$	1.45	\$ -	\$	2.90	\$-	\$	-	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106	6.00 \$	91.50	\$ -	\$	197.50	\$-	\$	-	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9	9.55 \$	4.72	\$ -	\$	14.27	\$-	\$	-	\$	-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1	1.49 \$	0.83	\$ -	\$	2.32	\$-	\$	-	\$	-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270	0.00 \$	111.00	\$ 10.	30 \$	391.30	\$-	\$	-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295	5.00 \$	37.50	\$ -	\$	332.50	\$-	\$	-	\$	-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3	3.85 \$	3.85	\$ -	\$	7.70	\$-	\$	-	\$	-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000	0.00 \$	6,000.00	\$ -	\$	12,000.00	\$ -	\$	-	\$	-	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700	0.00 \$	700.00	\$ -	\$	1,400.00	\$-	\$	-	\$	-	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500	0.00 \$	7,500.00	\$ -	\$	15,000.00	\$-	\$	-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 50	0.00 \$	50.00	\$ -	\$	100.00	\$-	\$	-	\$	-	\$ -	\$ 100.00	\$ -
otal										\$ -	\$	-	\$	-	\$-		\$-





Facility Condition Executive Summary

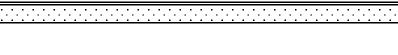
									HOUSTON COMM	JNITY COLLEGE
College Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FC
300 NOLN	Northline Center	Northline-New Academic Center	8001 Fulton Dr., 77022	2008	0	4	80,500	\$37,400	\$14,037,000	0.27
existing pump equipment. Need to pr top of them. Also, all inlets are covere Building Description	ovide bike racks. Plaza area needs outdoor se ed with landscaping rocks. Overall Rating: 4.5	areas are overgrown and in need of weeding. Existing eating opportunities. Refer to irrigation site assessment d and still under warranty at the time of inspections. The	t notes for irrigation assessment. Sitework: The	e asphalt pavement is l	beginning to sho	w signs of needing	repair. All of th	he storm inlets needs to h		
Mechanical New Building. No deficiencies noted.	······	······································		·····	· <u>·····</u>	<u></u>	·····	······	······	. <u></u>
Electrical New Building. No deficiencies noted.	·····		<u></u>		<u></u>	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>
Plumbing New Building. No deficiencies noted.				· · · · · · · · · · · · · · · · · · ·	·····	·····		<u></u>	<u></u>	<u></u>

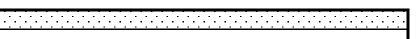
Life Safety - ADA - Hazmat New Building. No deficiencies noted.

Date: Description:	14-Jun-09 Southeast elevation of the new building.	Date: Description:	
			Berry F Meadow I









Location Map





ollege (uilding		300 NOLN	-													
uilding		Nothine-New Academic Center														
Qty.	Line Number	Description	Unit	Materia	al	Labor	Equipme	nt	Total	Extra Material	Extra Labor	and constraints and	ktra pment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104	4.00 \$	81.50	\$ 20.0	00 \$	205.50	\$ -	\$-	\$	-	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ C	0.35 \$	3.41	\$-	\$	3.76	\$ -	\$-	\$	-	\$-	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850	0.00 \$	595.00	\$-	\$	2,445.00	\$ -	\$-	\$	-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$-	\$	108.00	\$ -	\$-	\$	-	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$2	2.61 \$	4.39	\$ 2.0	3 \$	9.03	\$ -	\$-	\$	-	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$2	2.20 \$	0.61	\$-	\$	2.81	\$ -	\$-	\$	-	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$1	1.36 \$	0.64	\$-	\$	2.00	\$-	\$-	\$	-	\$-	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43	3.50 \$	2.03	\$-	\$	45.53	\$ -	\$-	\$	-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50	0.00 \$	21.50	\$-	\$	71.50	\$ -	\$-	\$	-	\$ -	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$1	1.50 \$	1.83	\$-	\$	3.33	\$-	\$-	\$	-	\$-	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ C	0.12 \$	0.35	\$-	\$	0.47	\$-	\$-	\$	-	\$ -	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ C	0.12 \$	0.41	\$-	\$	0.53	\$-	\$-	\$	-	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3	3.94 \$	3.31	\$-	\$	7.25	\$-	\$-	\$	-	\$ -	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48	3.50 \$	4.00	\$-	\$	52.50	\$-	\$-	\$	-	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610	0.00 \$	45.50	\$-	\$	655.50	\$-	\$-	\$	-	\$-	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$8	3.50 \$	10.60	\$-	\$	19.10	\$-	\$-	\$	-	\$ -	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$-	\$	0.75	\$-	\$-	\$	-	\$ -	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6	6.85 \$	3.06	\$-	\$	9.91	\$-	\$-	\$	-	\$ -	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ C	0.93 \$	0.97	\$-	\$	1.90	\$-	\$-	\$	-	\$ -	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$ 14	4.50 \$	8.25	\$-	\$	22.75	\$ -	\$-	\$	-	\$ -	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660	0.00 \$	145.00	\$-	\$	805.00	\$-	\$-	\$	-	\$ -	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480	0.00 \$	119.00	\$-	\$	599.00	\$-	\$-	\$	-	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221	1.00 \$	29.00	\$-	\$	250.00	\$-	\$-	\$	-	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1	1.45 \$	1.45	\$-	\$	2.90	\$-	\$-	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106	6.00 \$	91.50	\$-	\$	197.50	\$-	\$-	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9	9.55 \$	4.72	\$-	\$	14.27	\$-	\$-	\$	-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1	1.49 \$	0.83	\$-	\$	2.32	\$-	\$-	\$	-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270	0.00 \$	111.00	\$ 10.3	80 \$	391.30	\$ -	\$-	\$	-	\$ -	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295	5.00 \$	37.50	\$-	\$	332.50	\$-	\$-	\$	-	\$-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3	3.85 \$	3.85	\$-	\$	7.70	\$-	\$-	\$	-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000	0.00 \$	6,000.00	\$-	\$ 1	12,000.00	\$-	\$-	\$	-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 700	0.00 \$	700.00	\$-	\$	1,400.00	\$-	\$-	\$	-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500	0.00 \$	7,500.00	\$-	\$ 1	15,000.00	\$-	\$-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 50	0.00 \$	50.00	\$-	\$	100.00	\$ -	\$-	\$	-	\$-	\$ 100.00	\$-
otal										\$ -	\$-	\$	-	\$-		\$-





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	PINE	Pinemont Campus	Pinemont Hall	1265 Pinemont Dr., 77018		0	1	51,368	\$2,094,000	\$9,073,000	23.08%
Sitework /		· · · · · · · · · · · · · · · · · · ·		· · · · · · · · · · · · · · · · · · ·							<u></u>
Sitework: The	sample well appe	ears to be grouted over. Overall Rating: 5 Landscap	ping: No deficiencies noted.								
Building D				·····	·····				·····		
		nverted retail center. The exterior of the building is in g		d and maintained. The interiors are in good condition.	The carpet in th	e lobby and offi	ce areas has had	"heavy traffic" a	nd should be replaced.	·······	
	,			J.		,		,	·		
Mechanica	<u> </u>		······································		· · · · · · · · · · · · · · · · · · ·	····	· · · · · · · · · · · · · · · · · · ·	·····	·····	•••••••••••••••••••••••••••••••••••••••	····
		eed to be replaced, one was replaced two years ago.	Those remaining are beyond their life expectancy.			<u></u>	<u></u>		<u> </u>	<u></u>	<u> </u>
Electrical					•••••••••••••••••••••••••••••••••••••••				•••••••••••••••••••••••••••••••••••••••	•••••••••••••••••••••••••••••••••••••••	<u></u>
Electrical servi	ice should be upd	lated, should add a second transformer.									
Plumbing No deficiencie		<u></u>	·····		· · · · · · · · · · · · · · · · · · ·	<u></u>	· · · · · · · · · · · · · · · · · · ·	·····	<u>······</u>	· · · · · · · · · · · · · · · · · · ·	<u></u>
	s noted.										

Life Safety - ADA - Hazmat No deficiencies noted.

Date: 10-Jun-09 Date: 25-Sep-09 Description: South elevation of existing building. Entry lobby	Photographs			
Description: South elevation of existing building. Description: Entry lobby Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: South elevation of existing building. Image: So	Date: 10-Jun-09	Date:	25-Sep-09	
			Entry lobby	Ĩ

Owned Leased







ollege (Building		300 PINE	-														
Building		Pinemont Hall	1														
Qty.	Line Number	Description	Unit	Mate	rial	Labor	Equipme	ent	Total	Extra Material		Extra Labor	Extra Equipm		Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 1	04.00 \$	81.50	\$ 20.	00 \$	205.50	\$ -	\$	-	\$	-	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.41	\$ -	\$	3.76	\$ -	\$	-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,8	50.00 \$	595.00	\$ -	\$	2,445.00	\$ -	\$	-	\$	-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$ -	\$	108.00	\$ -	\$	-	\$	-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2.	03 \$	9.03	\$ -	\$	-	\$	-	\$-	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.61	\$ -	\$	2.81	\$ -	\$	-	\$	-	\$-	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$ -	\$	2.00	\$ -	\$	-	\$	-	\$-	\$ 2.56	\$ -
160	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$	43.50 \$	2.03	\$ -	\$	45.53	\$ 6,960.	00 \$	324.80	\$	-	\$ 7,284.80	\$ 51.18	\$ 8,188.80
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$	50.00 \$	21.50	\$ -	\$	71.50	\$ -	\$	-	\$	-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$	1.50 \$	1.83	\$ -	\$	3.33	\$ -	\$	-	\$	-	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$	0.12 \$	0.35	\$ -	\$	0.47	\$ -	\$	-	\$	-	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$	0.12 \$	0.41	\$ -	\$	0.53	\$ -	\$	-	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$	3.94 \$	3.31	\$ -	\$	7.25	\$ -	\$	-	\$	-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$	48.50 \$	4.00	\$ -	\$	52.50	\$ -	\$	-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$6	10.00 \$	45.50	\$ -	\$	655.50	\$ -	\$	-	\$	-	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$	8.50 \$	10.60	\$ -	\$	19.10	\$ -	\$	-	\$	-	\$ -	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$ -	\$	0.75	\$ -	\$	-	\$	-	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$	6.85 \$	3.06	\$ -	\$	9.91	\$ -	\$	-	\$	-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$ -	\$	1.90	\$ -	\$	-	\$	-	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$	14.50 \$	8.25	\$ -	\$	22.75	\$ -	\$	-	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 6	60.00 \$	145.00	\$ -	\$	805.00	\$ -	\$	-	\$	-	\$-	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 4	80.00 \$	119.00	\$ -	\$	599.00	\$ -	\$	-	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 2	21.00 \$	29.00	\$ -	\$	250.00	\$ -	\$	-	\$	-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$ -	\$	2.90	\$ -	\$	-	\$	-	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 1	06.00 \$	91.50	\$ -	\$	197.50	\$ -	\$	-	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$ -	\$	14.27	\$ -	\$	-	\$	-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$ -	\$	2.32	\$ -	\$	-	\$	-	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 2	70.00 \$	111.00	\$ 10.	30 \$	391.30	\$ -	\$	-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 2	95.00 \$	37.50	\$ -	\$	332.50	\$ -	\$	-	\$	-	\$-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$ -	\$	7.70	\$ -	\$	-	\$	-	\$-	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,0	00.00 \$	6,000.00	\$ -	\$	12,000.00	\$ -	\$	-	\$	-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 7	00.00 \$	700.00	\$ -	\$	1,400.00	\$ -	\$	-	\$	-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,5	00.00 \$	7,500.00	\$ -	\$	15,000.00	\$ -	\$	-	\$	-	\$-	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$	50.00 \$	50.00	\$ -	\$	100.00	\$	\$	-	\$	-	\$-	\$ 100.00	\$ -
otal										\$ 6,960.	00 \$	324.80	\$	-	\$ 7,284.80		\$ 8,188.80





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors		Repair Costs	Replacement Costs	FCI
300	PSI	Codwell Hall Campus	Public Safety Institute	555 Community College Dr, 77013	2007	0	1	11,000	\$37,000	\$3,551,000	1.04%

Sitework / Landscape Need to provide screening of existing trash area. Need to re-mulch all existing planting beds. Shrub row around perimeter of parking lot needs to be filled in with matched specimens. Need to replace missing trees within lawn area. Dead groundcover along front entry needs to be removed and replaced. Need to screen electrical transformer on east side. Wind screen on the existing fence has fallen down, need to replace and re-install.

Sitework: All of the inlets are holding water and some need to be lowered to ground elevation. The storm sewer system does not drain the water very well. Several birdbaths are noticeable in the parking lot.

Building Description The Public Safety Institute is comprised of four buildings built in 2007. Two of the buildings are fire training buildings that are constructed out of exposed steel columns and beams, concrete masonry units, and hollow metal frames. The third building is an outdoor restroom building. The finishes for these three buildings are intentionally industrial to withstand fire testing and "high abuse". The fourth building is a one-story building with offices, classrooms, showers, lockers, and a shooting range. The exterior and interior of the building are in good condition.

Mechanical No deficiencies noted.

Électrical No deficiencies noted.

Plumbing No deficiencies noted.

Life Safety - ADA - Hazmat No deficiencies noted.

Photographs				
Date:	12-Jul-09	Date:	12-Jul-09	
Description:	South elevation of the two training buildings.	Description:	Southwest elevation of the office, shooting range building.	2
				and the second sec















College (Building		300 PSI	-													
Building		Public Safety Institute														
Qty.	Line Number	Description	Unit	Material	L	abor	Equipme	nt	Total	Extra Material	 xtra abor	Extra Equipm		Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$	81.50	\$ 20.0	0 \$	205.50	\$-	\$ -	\$	-	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$	3.41	\$-	\$	3.76	\$-	\$ -	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$	595.00	\$-	\$	2,445.00	\$-	\$ -	\$	-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$-	\$	108.00	\$-	\$	108.00	\$-	\$ -	\$	-	\$ -	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$	4.39	\$ 2.0	3 \$	9.03	\$-	\$ -	\$	-	\$ -	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$	0.61	\$-	\$	2.81	\$ -	\$ -	\$	-	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$	0.64	\$-	\$	2.00	\$-	\$ -	\$	-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$	2.03	\$-	\$	45.53	\$ -	\$ -	\$	-	\$-	\$ 51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$	21.50	\$-	\$	71.50	\$-	\$ -	\$	-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$	1.83	\$-	\$	3.33	\$-	\$ -	\$	-	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$	0.35	\$-	\$	0.47	\$-	\$ -	\$	-	\$-	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$	0.41	\$-	\$	0.53	\$-	\$ -	\$	-	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$	3.31	\$-	\$	7.25	\$ -	\$ -	\$	-	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$	4.00	\$-	\$	52.50	\$-	\$ -	\$	-	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$	45.50	\$-	\$	655.50	\$-	\$ -	\$	-	\$-	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$	10.60	\$-	\$	19.10	\$-	\$ -	\$	-	\$-	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$	-	\$-	\$	0.75	\$-	\$ -	\$	-	\$-	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$	3.06	\$-	\$	9.91	\$ -	\$ -	\$	-	\$-	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$	0.97	\$-	\$	1.90	\$-	\$ -	\$	-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$ 14.50	\$	8.25	\$-	\$	22.75	\$-	\$ -	\$	-	\$-	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$	145.00	\$-	\$	805.00	\$-	\$ -	\$	-	\$-	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$	119.00	\$-	\$	599.00	\$-	\$ -	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$	29.00	\$-	\$	250.00	\$-	\$ -	\$	-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$	1.45	\$-	\$	2.90	\$-	\$ -	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$	91.50	\$-	\$	197.50	\$-	\$ -	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$	4.72	\$-	\$	14.27	\$-	\$ -	\$	-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$	0.83	\$-	\$	2.32	\$-	\$ -	\$	-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$	111.00	\$ 10.3	0 \$	391.30	\$-	\$ -	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$	37.50	\$-	\$	332.50	\$-	\$ -	\$	-	\$ -	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$	3.85	\$-	\$	7.70	\$-	\$ -	\$	-	\$ -	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$	6,000.00	\$-	\$	12,000.00	\$ -	\$ -	\$	-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$	700.00	\$-	\$	1,400.00	\$-	\$ -	\$	-	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$	7,500.00	\$-	\$	15,000.00	\$-	\$ -	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 50.00	\$	50.00	\$-	\$	100.00	\$ -	\$ -	\$	-	\$-	\$ 100.00	\$-
otal										\$ -	\$ -	\$	-	\$-		\$-





Facility Condition Executive Summary

Sitework / Lands	CTDC	Codwell Hall Campus	Dalam d Oraith Travels Driving a Cont					Area		Costs	
			Roland Smith Truck Driving Center	555 Community College Dr, 77013	1999	0	2	13,000	\$52,000	\$3,119,000	1.67%
Need to fill in Indian H		ain entry. Need to paint cross-walk area. Existing	seating area needs to be renovated and College star	ndard furnishings installed. Need to replace sod along	ı front slope. Irriç	pation system wa	s not run during a	ssessment.	<u></u>	<u></u>	<u></u>
Building Descrip The Truck Driving Cer or patched in the class	enter is a two-s	story building. The exterior of the building is made	of a pre-finished metal panel system and in good con	ndition. The indoor/outdoor area is an industrial shop a	nd receives heav	/y traffic. The inte	rior of the buildin	g is in good con	dition. The VCT has had	"high traffic" and can be	e replaced
Mechanical Flues on roof need to	o be re-braced.	They have been blown out of alignment by storms		<u></u>	·····	··········		· · · · · · · · · · · · · · · · · · ·			<u></u>
Electrical Lightning Protection s	system should	be re-certified.	······································		<u></u>	<u></u>	<u></u>	·	·····	· · · · · · · · · · · · · · · · · · ·	<u></u>
Plumbing No deficiencies noted		<u></u>	<u></u>	<u></u>	· <u>····</u> ······		<u></u>		<u></u>	<u></u>	

Life Safety - ADA - Hazmat No deficiencies noted.

Photographs Date: 12-Jul-09 Description: Northwest elevation of the building. Description: Entrance at main entry lobby. Image: Strate and Strate and Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby. Image: Strate at main entry lobby.			
Description: Northwest elevation of the building. Description: Entrance at main entry lobby. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Contract of the building. Image: Cont	Photographs		
	Date: 12-Jul-09	Date: 12-Jul-09	
	Description: Northwest elevation of the building.	Description: Entrance at main entry lobby.	5
	<image/>		









ollege C wilding C		300 CTDC	-												
uilding N		Roland Smith Truck Driving Center	_												
Qty.	Line Number	Description	Unit	Material	Labor	Equipme	nt [–]	Total	Extra Material	Extr Labo		Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00 \$	6 81.50) \$ 20.0	0 \$	205.50	ş -	\$	-	\$ -	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35 \$	3.4 ⁻	I\$-	\$	3.76	ş -	\$	-	\$ -	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00 \$	595.00) \$ -	\$	2,445.00	6 -	\$	-	\$-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	- \$	5 108.00) \$ -	\$	108.00	ş -	\$	-	\$-	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61 \$	4.39	9 \$ 2.0	3\$	9.03	ş -	\$	-	\$-	\$-	\$ 11.95	\$ -
1500	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. \$	2.20 \$	6 0.6 ⁻	I\$-	\$	2.81 \$	3,300.00	\$9	15.00	\$-	\$ 4,215.00	\$ 3.37	\$ 5,055.0
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36 \$	6 0.64	1 \$ -	\$	2.00	ş -	\$	-	\$-	\$-	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50 \$	2.03	3 \$ -	\$	45.53	6 -	\$	-	\$-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00 \$	21.50) \$ -	\$	71.50	6 -	\$	-	\$-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50 \$	1.83	3 \$ -	\$	3.33	ş -	\$	-	\$ -	\$ -	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12 \$	0.3	5 \$ -	\$	0.47	6 -	\$	-	\$ -	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12 \$	0.4	I\$-	\$	0.53	ş -	\$	-	\$ -	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94 \$	i 3.3 [.]	I\$-	\$	7.25	ş -	\$	-	\$ -	\$ -	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50 \$	6 4.00) \$ -	\$	52.50	ş -	\$	-	\$ -	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00 \$	45.50) \$ -	\$	655.50	ş -	\$	-	\$ -	\$-	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50 \$	10.60) \$ -	\$	19.10	ş -	\$	-	\$-	\$ -	\$ 26.50	\$-
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	- \$	-	\$-	\$	0.75	6 -	\$	-	\$ -	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85 \$	3.00	6 \$ -	\$	9.91	6 -	\$	-	\$-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93 \$	0.9	7 \$ -	\$	1.90	ş -	\$	-	\$ -	\$ -	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F. \$	14.50 \$	8.2	5 \$ -	\$	22.75	ş -	\$	-	\$-	\$ -	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00 \$	145.00) \$ -	\$	805.00	ş -	\$	-	\$ -	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00 \$	5 119.00)\$-	\$	599.00	ş -	\$	-	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00 \$	29.00) \$ -	\$	250.00	ş -	\$	-	\$ -	\$ -	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45 \$	5 1.4	5 \$ -	\$	2.90	ş -	\$	-	\$ -	\$ -	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00 \$	91.50)\$-	\$	197.50	ş -	\$	-	\$-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55 \$	6 4.72	2 \$ -	\$	14.27	5 -	\$	-	\$-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49 \$	0.8	3 \$ -	\$	2.32	ş -	\$	-	\$ -	\$ -	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00 \$	5 111.00) \$ 10.3	0 \$	391.30	ş -	\$	-	\$-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00 \$	37.50) \$ -	\$	332.50	ş -	\$	-	\$ -	\$ -	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F. \$	3.85 \$	3.8	5\$-	\$	7.70	ş -	\$	-	\$ -	\$ -	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea. \$	6,000.00 \$	6,000.00)\$-	\$ 1	2,000.00	ş -	\$	-	\$ -	\$ -	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run \$	700.00 \$	700.00)\$-	\$	1,400.00	ş -	\$	-	\$-	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea. \$	7,500.00 \$	7,500.00)\$-	\$ 1	5,000.00	ş -	\$	-	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea. \$	50.00 \$	50.00)\$-	\$	100.00	ş -	\$	-	\$-	\$-	\$ 100.00	\$-
otal								•	3,300.00	¢ 0	5.00	\$-	\$ 4,215.00		\$ 5,055.00





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
300	STECH	Codwell Hall Campus	NE Science and Tech. Bldg	555 Community College Dr, 77013	2008	0	3	46,800	\$35,000	\$8,430,000	0.42%
	n maintenance area. N	landian along building perimeter needs to be mon ows signs of holding water during a storm. Overa		Need to replace mulch watering rings around existing	trees. Irrigation s	ystem was not ru	n during assessn	nent.	· <u>·····</u>	· <u>·····</u>	<u></u>
Building De The Science ar		is a new three-story building recently constructed	d and still under warranty at the time of inspections.	·····	·····	<u>·····</u>	<u></u>	<u></u>	<u></u>	·····	· · · · · · · ·
Mechanical No deficiencies		·····	·····	·····	·.·	·.·.·		<u></u>		·····	<u></u>
Electrical No deficiencies	noted.	······································	······································	······································	<u></u>	<u></u>	· <u>·····</u>	<u></u>	·····	·····	<u></u>
Plumbing No deficiencies	noted.				<u></u>	<u></u>	· <u>·····</u>	<u>·····</u>	· <u>·····</u>	· <u>·····</u>	<u></u>
Life Safety	• ADA - Hazmat				·····		· · · · · · · · · · · · · · · · · · ·	·····			

Photographs			
Date: 12-Jul-09	Date:	12-Jul-09	
Description: Northeast elevation of the new building.	Description:	Typical science lab classroom	1. E
		<image/>	









College (Building		300 STECH	-									
Building		NE Science and Tech. Bldg.										
Qty.	Line Number	Description	Unit	Material	Labor	Equipment Total I	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00 \$	81.50	\$ 20.00 \$ 205.50 \$	-	\$ -	\$ -	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35 \$	3.41	\$ - \$ 3.76 \$	-	\$-	\$ -	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00 \$	595.00) \$ - \$ 2,445.00 \$	-	\$-	\$ -	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ - \$	108.00	\$ - \$ 108.00	-	\$-	\$ -	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61 \$	4.39	9 \$ 2.03 \$ 9.03 \$	-	\$-	\$ -	\$-	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20 \$	0.61	\$ - \$ 2.81 \$	-	\$-	\$-	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36 \$	0.64	\$ - \$ 2.00	-	\$-	\$-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50 \$	2.03	8 \$ - \$ 45.53 \$	-	\$-	\$-	\$-	\$ 51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00 \$	21.50	\$ - \$ 71.50	-	\$-	\$-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50 \$	1.83	\$ \$ - \$ 3.33 \$	-	\$-	\$-	\$-	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12 \$	0.35	5 \$ - \$ 0.47 \$	-	\$-	\$-	\$-	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12 \$	0.41	\$ - \$ 0.53 \$	-	\$-	\$-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94 \$	3.31	\$ - \$ 7.25 \$	-	\$-	\$-	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50 \$	4.00) \$ - \$ 52.50 \$	-	\$-	\$ -	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00 \$	45.50) \$ - \$ 655.50 \$	-	\$-	\$-	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50 \$	10.60) \$ - \$ 19.10 \$	-	\$-	\$ -	\$-	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ - \$	-	\$ - \$ 0.75 \$	-	\$-	\$-	\$-	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85 \$	3.06	6 \$ - \$ 9.91 \$	-	\$-	\$-	\$-	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93 \$	0.97	' \$ - \$ 1.90 \$	-	\$-	\$-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	r L.F.	\$ 14.50 \$	8.25	5 \$ - \$ 22.75 \$	-	\$-	\$-	\$-	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00 \$	145.00	\$ - \$ 805.00	-	\$-	\$-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00 \$	119.00) \$ - \$ 599.00 \$	-	\$-	\$ -	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00 \$	29.00	\$ - \$ 250.00	-	\$-	\$ -	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45 \$	1.45	5 \$ - \$ 2.90 \$	-	\$-	\$ -	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00 \$	91.50) \$ - \$ 197.50 \$	-	\$-	\$ -	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55 \$	4.72	2 \$ - \$ 14.27 \$	-	\$-	\$ -	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49 \$	0.83	8 \$ - \$ 2.32 \$	-	\$-	\$ -	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00 \$	111.00	\$ 10.30 \$ 391.30 \$	-	\$-	\$ -	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00 \$	37.50	\$ - \$ 332.50	-	\$-	\$-	\$ -	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.85 \$	3.85	5 \$ - \$ 7.70 \$	-	\$-	\$-	\$-	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00 \$	6,000.00	\$ - \$ 12,000.00	-	\$-	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00 \$	700.00) \$ - \$ 1,400.00 \$	-	\$-	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00 \$	7,500.00	\$ - \$ 15,000.00	-	\$-	\$-	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00 \$	50.00	\$ - \$ 100.00	-	\$-	\$-	\$-	\$ 100.00	\$ -
Fotal						\$	-	\$-	\$-	\$-		\$-





Facility Condition Executive Summary

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College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FC
300	CHPP	Codwell Hall Campus	Physical Plant (Science Stor Bldg)	555 Community College Dr, 77013	2008	0	1	10,432	\$16,000	\$1,213,000	1.32
	andscape	ne signs of ponding. Overall Rating: 5		·····	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>
		new building that opened in 2008. Upon inspection, th	nis building has no issues with finishes and/or equipm		·····	·····	·····	·····	·····	·····	· · · · · ·
Mechanica No deficiencies		·····	·····	······	·····	<u></u>	·····	<u></u>	· · · · · · · · · · · · · · · · · · ·	<u></u>	<u></u>
Electrical					•••••••••••••••••••••••••••••••••••••••		• • • • • • • • • • • • •	••••••			
No deficiencies	s noted.										
Plumbing											
No deficiencies	s noted.					<u></u>			<u> </u>	<u> </u>	<u> </u>
Life Safety	- ADA - Hazn	nat									
No deficiencies	s noted.										

Photographs		
Date: 12-Jul-09	Date:	
Description: West elevation of the new physical plant.	Description:	18









ollege C uilding (300 CHPP	-									
uilding I		Physical Plant (Science Storage Bldg)										
Qty.	Line Number	Description	Unit	Vlaterial	Labor	Equipment	Total Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00	81.50	\$ 20.00	\$ 205.50 \$ -	\$ -	\$ -	\$ -	\$ 281.00	\$
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35	3.41	\$ -	\$ 3.76 \$ -	\$ -	\$ -	\$-	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00	595.00	\$-	\$ 2,445.00 \$ -	\$-	\$ -	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	- 9	\$ 108.00	\$-	\$ 108.00 \$ -	\$-	\$ -	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61	\$ 4.39	\$ 2.03	\$ 9.03 \$ -	\$-	\$ -	\$-	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. \$	2.20	6 0.61	\$ -	\$ 2.81 \$ -	\$ -	\$ -	\$-	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36	6 0.64	\$ -	\$ 2.00 \$ -	\$-	\$ -	\$-	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50	5 2.03	\$ -	\$ 45.53 \$ -	\$-	\$-	\$-	\$ 51.18	\$.
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00	6 21.50	\$-	\$ 71.50 \$ -	\$-	\$-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50	5 1.83	\$ -	\$ 3.33 \$ -	\$ -	\$ -	\$ -	\$ 4.65	\$
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12	6 0.35	\$ -	\$ 0.47 \$ -	\$-	\$-	\$-	\$ 0.69	\$
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12	6 0.41	\$-	\$ 0.53 \$ -	\$-	\$-	\$-	\$ 0.79	\$
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94	3.31	\$-	\$ 7.25 \$ -	\$-	\$-	\$-	\$ 9.69	\$
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50	6 4.00	\$-	\$ 52.50 \$ -	\$-	\$ -	\$-	\$ 59.60	\$
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00	6 45.50	\$ -	\$ 655.50 \$ -	\$ -	\$ -	\$ -	\$ 750.50	\$
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scatfolding, grout and reinforcing	S.F. \$	8.50	5 10.60	\$ -	\$ 19.10 \$ -	\$ -	\$-	\$ -	\$ 26.50	\$
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	- \$; -	\$ -	\$ 0.75 \$ -	\$ -	\$ -	\$ -	\$ 0.90	\$.
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85	3.06	\$ -	\$ 9.91 \$ -	\$ -	\$ -	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93	6 0.97	\$-	\$ 1.90 \$ -	\$ -	\$ -	\$ -	\$ 2.53	\$
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	r L.F. \$	14.50	8.25	\$ -	\$ 22.75 \$ -	\$ -	\$ -	\$ -	\$ 29.20	\$
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00	6 145.00	\$-	\$ 805.00 \$ -	\$ -	\$ -	\$ -	\$ 953.00	\$
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00	5 119.00	\$-	\$ 599.00 \$ -	\$-	\$-	\$ -	\$ 751.00	\$
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00	\$ 29.00	\$-	\$ 250.00 \$ -	\$-	\$ -	\$-	\$ 291.00	\$
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45	5 1.45	\$-	\$ 2.90 \$ -	\$-	\$ -	\$-	\$ 4.00	\$
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00	91.50	\$-	\$ 197.50 \$ -	\$-	\$-	\$-	\$ 280.00	\$
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55	6 4.72	\$-	\$ 14.27 \$ -	\$-	\$ -	\$ -	\$ 18.95	\$
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49	6 0.83	\$-	\$ 2.32 \$ -	\$-	\$ -	\$-	\$ 3.12	\$
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00	\$ 111.00	\$ 10.30	\$ 391.30 \$ -	\$-	\$ -	\$-	\$ 514.35	\$
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00	\$ 37.50	\$ -	\$ 332.50 \$ -	\$ -	\$ -	\$ -	\$ 387.00	\$
0	-	Wood Strip Flooring	L.F. \$	3.85	3.85	\$ -	\$ 7.70 \$ -	\$ -	\$ -	\$ -	\$ 7.71	\$
0	-	ADA Toilet Renovation	Ea. \$	6,000.00	6,000.00	\$-	\$ 12,000.00 \$ -	\$ -	\$ -	\$ -	\$ 12,000.00	\$
0	-	ADA Handrail Renovation	Run \$	700.00	5 700.00	\$ -	\$ 1,400.00 \$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$
0	-	Wheelchair Lift	Ea. \$	7,500.00	5 7,500.00	\$ -	\$ 15,000.00 \$ -	\$ -	\$ -	\$-	\$ 15,000.00	\$
0	-	Elevator Signage	Ea. \$	50.00	50.00	\$-	\$ 100.00 \$ -	\$ -	\$ -	\$ -	\$ 100.00	\$
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Northwest College

Early Childhood Development (Katy Mills Commons / Book Performing Arts C Science Bu Spring Branch (Town and Cou Westgate C

s Mall)	 Page	5-59
kstore	 Page	5-61
Center	 Page	5-63
uilding	 Page	5-65
ountry)	 Page	5-67
Center	 Page	5-69





Facility Condition Executive Summary

400 KAML Sitework / Landscape	nout the parking lot pavement. One s	ullrock band along fron sidewalk panel is crack	ked. Unable to open sanita	ary manhole. C	eds Need to fill in	·····	ng lot shrub rov	· · · · · · · · · · · · · · · · · · ·	·····	· · · · · · · · · · · · ·	front island. Ba	\$5	64,000	\$1,	272,000	4.25%
Weed front entry beds and plant matched specim Refer to field report for irrigation notes. Sitework: Several birdbaths can be found through Building Description The Early Childhood Development is located in a Mechanical	nout the parking lot pavement. One s	sidewalk panel is crack	ked. Unable to open sanita	ary manhole. C	Overall Rating: 4.5	·····		· · · · · · · · · · · · · · · · · · ·	·····	· · · · · · · · · · · · ·	front island. Ba	ck playground	d area does n	ot have a s	Secure fencing	system.
The Early Childhood Development is located in a Mechanical	modular building. The exterior is in	n good condition. The l	built-up roof was recently re	replaced. The c	classrooms have o	colored VCT that	s showing sigr	ns of wear an	nd need to be r	eplaced.				· · · · · · · ·		
The Early Childhood Development is located in a Mechanical	modular building. The exterior is in	n good condition. The l	built-up roof was recently re	replaced. The c	classrooms have o	colored VCT that	s showing sigr	ns of wear an	nd need to be r	eplaced.						
					<u></u>	<u></u>	· <u>·····</u>	· · · · · · · · · · · · · · · · · · ·	· <u>····</u> ····	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	· <u>·····</u>	<u></u>	· <u>····</u>	<u>·······</u>	<u></u>
Electrical No deficiencies noted.	<u></u>	·····			·····	·····	· · · · · · · · · · · · · · · · · · ·		· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	<u></u>	· · · · · · · · · · · · · · · · · · ·			· · · · · · · · · · · · · · · · · · ·	<u></u>
Plumbing No deficiencies noted.	<u></u>	<u></u>	<u></u>	·····	·:·:·:·:·:·	<u></u>		<u></u>		· <u>····</u>	· <u>····</u> ·······	<u></u>	<u></u>			<u></u>

Life Safety - ADA - Hazmat No deficiencies noted.









College C Building		400 KAML	-														
Building I		KAML Early Childhood Development															
Qty.	Line Number	Description	Unit	Mate	rial	Labor	Equipmo	ent	Total	Extra Materi		Extra Labor	Extra Equipm		Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 1	04.00 \$	81.50	\$ 20.	00 \$	205.50	\$	- \$	-	\$	-	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.41	\$ -	\$	3.76	\$	- \$	-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,8	50.00 \$	595.00	\$ -	\$	2,445.00	\$	- \$	-	\$	-	\$-	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$ -	\$	108.00	\$	- \$	-	\$	-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2.	03 \$	9.03	\$	- \$	-	\$	-	\$-	\$ 11.95	\$ -
3000	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.61	\$ -	\$	2.81	\$ 6,60	0.00 \$	1,830.00	\$	-	\$ 8,430.00	\$ 3.37	\$ 10,110.00
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$ -	\$	2.00	\$	- \$	-	\$	-	\$-	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$	43.50 \$	2.03	\$ -	\$	45.53	\$	- \$	-	\$	-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$	50.00 \$	21.50	\$ -	\$	71.50	\$	- \$	-	\$	-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$	1.50 \$	1.83	\$ -	\$	3.33	\$	- \$	-	\$	-	\$-	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$	0.12 \$	0.35	\$ -	\$	0.47	\$	- \$	-	\$	-	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$	0.12 \$	0.41	\$ -	\$	0.53	\$	- \$	-	\$	-	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$	3.94 \$	3.31	\$ -	\$	7.25	\$	- \$	-	\$	-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$	48.50 \$	4.00	\$ -	\$	52.50	\$	- \$	-	\$	-	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$6	10.00 \$	45.50	\$ -	\$	655.50	\$	- \$	-	\$	-	\$-	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$	8.50 \$	10.60	\$ -	\$	19.10	\$	- \$	-	\$	-	\$-	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$ -	\$	0.75	\$	- \$	-	\$	-	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$	6.85 \$	3.06	\$ -	\$	9.91	\$	- \$	-	\$	-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$ -	\$	1.90	\$	- \$	-	\$	-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$	14.50 \$	8.25	\$ -	\$	22.75	\$	- \$	-	\$	-	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 6	60.00 \$	145.00	\$ -	\$	805.00	\$	- \$	-	\$	-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 4	80.00 \$	119.00	\$ -	\$	599.00	\$	- \$	-	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 2	21.00 \$	29.00	\$ -	\$	250.00	\$	- \$	-	\$	-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$ -	\$	2.90	\$	- \$	-	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 1	06.00 \$	91.50	\$ -	\$	197.50	\$	- \$	-	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$ -	\$	14.27	\$	- \$	-	\$	-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$ -	\$	2.32	\$	- \$	-	\$	-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 2	70.00 \$	111.00	\$ 10.	30 \$	391.30	\$	- \$	-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 2	95.00 \$	37.50	\$ -	\$	332.50	\$	- \$	-	\$	-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$ -	\$	7.70	\$	- \$	-	\$	-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,0	00.00 \$	6,000.00	\$ -	\$	12,000.00	\$	- \$	-	\$	-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 7	00.00 \$	700.00	\$ -	\$	1,400.00	\$	- \$	-	\$	-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,5	00.00 \$	7,500.00	\$ -	\$	15,000.00	\$	- \$	-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$	50.00 \$	50.00	\$	\$	100.00	\$	- \$	-	\$	-	\$-	\$ 100.00	\$
otal										\$ 6,60	0.00 \$	1,830.00	\$	-	\$ 8,430.00		\$ 10,110.00





Facility Condition Executive Summary

				, , ,						HOUSTON CO	IMUNITY COLLEGE
College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
400	COMM	Spring Branch Campus	Commons/Bookstor	e 1060 W. Sam Houston Pkwy., 77043		0	1	8,576	\$0	\$1,515,000	0.00%
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o deficiencie	Landscape				· · · · · · · · · · · · · · · · · · ·	<u> </u>	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	<u>··················</u>	<u></u>
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	escription	· · · · · · · · · · · · · · · · · · ·						Less d'éles . The			· · · · · · · · · · ·
ne Common	n The Commons	also contains a leased-out deli on the frontage end cap	the building is in good condition. St	refront windows should be cleaned and maintained. The Common	ons interiors were red	ently remodeled	and are in good	condition. The	e bookstore recently had ca	arpet replaced and fixt	ures are in
			· · · · · · · · · · · · · · · · · · ·								
lechanica		· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·		· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	<u> </u>	<u> </u>	<u></u>	<u></u>	<u> </u>
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lo deficiencie	es noted.										
lumbing		· · · · · · · · · · · · · · · · · · ·	<u></u>	· · · · · · · · · · · · · · · · · · ·	<u></u>	<u></u>	· <u>····</u> ······	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	<u></u>	<u></u>
lo deficiencie	es noted.										
						 					
	/ - ADA - Hazn	hat	<u></u>	· · · · · · · · · · · · · · · · · · ·	<u> </u>	<u></u>	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	·····	· · · · · · · · · · · ·
No deficiencie	es noted.										
Photograph	IS							Locatio	on Map		
Date	: 20-Jul-09		Date: 20-Ju	09							
		ion of Commons and Bookstore building.		f the Commons lounge area.							
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Photographs		
Date: 20-Jul-09	Date: 20-Jul-09	
Description: East elevation of Commons and Bookstore building.	Description: View of the Commons lounge area.]
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College C Building		400 COMM	-														
Building		Commons/Bookstore	1														
Qty.	Line Number	Description	Unit	Material		Labor	Equipn	ent	Total	Extra Mater	1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.	Extra Labor	Ex Equit		Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.	\$ 00	81.50	\$ 20	.00 \$	205.50	\$	- \$	-	\$	-	\$ -	\$ 281.0	0\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.	35 \$	3.41	\$	- \$	3.76	\$	- \$; -	\$	-	\$-	\$ 5.8	9\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.	\$ 00	595.00	\$	- \$	2,445.00	\$	- \$	-	\$	-	\$ -	\$ 3,125.0	0\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$-	\$	108.00	\$	- \$	108.00	\$	- \$; -	\$	-	\$-	\$ 175.0	0\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.	61 \$	4.39	\$ 2	.03 \$	9.03	\$	- \$; -	\$	-	\$-	\$ 11.9	5\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.	20 \$	0.61	\$	- \$	2.81	\$	- \$	-	\$	-	\$-	\$ 3.3	7 \$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.	36 \$	0.64	\$	- \$	2.00	\$	- \$; -	\$	-	\$-	\$ 2.5	6\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.	50 \$	2.03	\$	- \$	45.53	\$	- \$; -	\$	-	\$-	\$ 51. ⁻	8 \$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.	00 \$	21.50	\$	- \$	71.50	\$	- \$	-	\$	-	\$-	\$ 90.5	0 \$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$1.	50 \$	1.83	\$	- \$	3.33	\$	- \$; -	\$	-	\$-	\$ 4.6	5 \$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.	12 \$	0.35	\$	- \$	0.47	\$	- \$	-	\$	-	\$-	\$ 0.6	9 \$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.	12 \$	0.41	\$	- \$	0.53	\$	- \$	-	\$	-	\$-	\$ 0.7	9 \$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.	94 \$	3.31	\$	- \$	7.25	\$	- \$	-	\$	-	\$ -	\$ 9.6	9 \$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.	50 \$	4.00	\$	- \$	52.50	\$	- \$	-	\$	-	\$ -	\$ 59.6	0 \$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.	00 \$	45.50	\$	- \$	655.50	\$	- \$; -	\$	-	\$-	\$ 750.5	0 \$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.	50 \$	10.60	\$	- \$	19.10	\$	- \$; -	\$	-	\$-	\$ 26.5	0 \$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$	-	\$	- \$	0.75	\$	- \$; -	\$	-	\$-	\$ 0.9	0 \$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.	85 \$	3.06	\$	- \$	9.91	\$	- \$	-	\$	-	\$-	\$ 12.2	9 \$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.	93 \$	0.97	\$	- \$	1.90	\$	- \$; -	\$	-	\$-	\$ 2.5	3 \$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	r L.F.	\$ 14.	50 \$	8.25	\$	- \$	22.75	\$	- \$; -	\$	-	\$-	\$ 29.2	0 \$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.	00 \$	145.00	\$	- \$	805.00	\$	- \$	-	\$	-	\$-	\$ 953.0	0 \$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.	00 \$	119.00	\$	- \$	599.00	\$	- \$; -	\$	-	\$ -	\$ 751.0	0 \$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.	00 \$	29.00	\$	- \$	250.00	\$	- \$	-	\$	-	\$-	\$ 291.0	0 \$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.	45 \$	1.45	\$	- \$	2.90	\$	- \$	-	\$	-	\$-	\$ 4.0	0 \$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.	00 \$	91.50	\$	- \$	197.50	\$	- \$; -	\$	-	\$ -	\$ 280.0	0 \$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.	55 \$	4.72	\$	- \$	14.27	\$	- \$	-	\$	-	\$-	\$ 18.9	5 \$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.	49 \$	0.83	\$	- \$	2.32	\$	- \$; -	\$	-	\$-	\$ 3.4	2 \$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.	00 \$	111.00	\$ 10	.30 \$	391.30	\$	- \$; -	\$	-	\$ -	\$ 514.3	5 \$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.	00 \$	37.50	\$	- \$	332.50	\$	- \$; -	\$	-	\$ -	\$ 387.0	0 \$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.	85 \$	3.85	\$	- \$	7.70	\$	- \$; -	\$	-	\$ -	\$ 7.7	1 \$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.	00 \$	6,000.00	\$	- \$	12,000.00	\$	- \$; -	\$	-	\$-	\$ 12,000.0	0 \$ -
0	-	ADA Handrail Renovation	Run	\$ 700.	00 \$	700.00	\$	- \$	1,400.00	\$	- \$; -	\$	-	\$-	\$ 1,400.0	0\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500.	00 \$	7,500.00	\$	- \$	15,000.00	\$	- \$; -	\$	-	\$-	\$ 15,000.0	0 \$ -
0	-	Elevator Signage	Ea.	\$ 50.	00 \$	50.00	\$	- \$	100.00	\$	- \$; -	\$	-	\$ -	\$ 100.0	0\$-
otal	-		••••••••••••••••••••••••••••••••••••••							\$	- \$; -	\$	-	\$-		s -





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
400	PAC	Spring Branch Campus	Performance Arts Center	1060 W. Sam Houston Pkwy., 77043		0	1	36,750	\$1,433,000	\$5,952,000	24.08%

Sitework / Landscape Need to replace existing site furnishings with College standard. Current smoking area is located at front entry of the building. Opportunity for formal entry at drop-off area. No irrigation surrounding the building perimeter. Could use parking lot trees for shade, along with shrubs for parking lot screening. Building needs HCC signage.

Sitework: Some birdbaths were noticeable on the eastside of the parking lot. The storm inlets need to have inverts built. The sanitary manhole has the trunk line inside the invert. Overall Rating: 4

Building Description The building is a converted movie theater with a recent addition of a theater and performing arts studios. The exterior of the building is in good condition. The existing theaters need to have the carpet and fixed seating replaced. The restrooms need to be updated to comply with current ADA requirements. See ADA Code of Standards sections 4.16 through 4.19 Carpet needs to be replaced in lobby, offices, and theatres.

Mechanical DX units on the roof need to be replaced.

Electrical Electrical switchgear needs to be updated.

Plumbing. No deficiencies noted.

Life Safety + ADA - Hazmat See ADA Code of Standards sections 4.16 through 4.19

Photographs			
Date: 20-Jul-09	Date:	20-Jul-09	1
Description: East elevation of existing building.	Description:	Typical restrooms in the existing building need to be reviewed for ADA compliance.	I
			W Beit/orN ↔ W Sam Houston Pkwy N ↔ ↔ ↔ ↔ ↔ ↔ ↔ ↔ ↔ ↔ ↔ ↔ ↔ ↔ ↔ ↔ ↔ ↔









ollege (400	-													
Building Building		PAC Performance Arts Center	-													
Qty.	Line Number	Description	Unit	Materi	ial	Labor	Equipme	nt	Total	Extra Material	Extra Labor	Ext Equip		Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 10	94.00 \$	81.50	\$ 20.0	00 \$	205.50	\$-	\$-	\$	-	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.41	\$-	\$	3.76	\$-	\$-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,85	50.00 \$	595.00	\$-	\$	2,445.00	\$-	\$-	\$	-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$-	\$	108.00	\$-	\$-	\$	-	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2.0)3 \$	9.03	\$ -	\$-	\$	-	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.61	\$-	\$	2.81	\$-	\$-	\$	-	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$-	\$	2.00	\$-	\$-	\$	-	\$-	\$ 2.56	\$ -
741	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$4	\$ \$	2.03	\$-	\$	45.53	\$ 32,233.50) \$ 1,504.2	3 \$	-	\$ 33,737.73	\$ 51.18	\$ 37,924.38
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$5	\$ 0.00	21.50	\$-	\$	71.50	\$-	\$-	\$	-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$	1.50 \$	1.83	\$-	\$	3.33	\$-	\$-	\$	-	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$	0.12 \$	0.35	\$-	\$	0.47	\$-	\$ -	\$	-	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$	0.12 \$	0.41	\$-	\$	0.53	\$-	\$-	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$	3.94 \$	3.31	\$-	\$	7.25	\$-	\$-	\$	-	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$4	8.50 \$	4.00	\$-	\$	52.50	\$-	\$-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 61	0.00 \$	45.50	\$-	\$	655.50	\$-	\$-	\$	-	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$	8.50 \$	10.60	\$-	\$	19.10	\$-	\$-	\$	-	\$-	\$ 26.50	\$-
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$-	\$	0.75	\$-	\$-	\$	-	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$	6.85 \$	3.06	\$-	\$	9.91	\$-	\$-	\$	-	\$-	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$-	\$	1.90	\$-	\$-	\$	-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$1	4.50 \$	8.25	\$ -	\$	22.75	\$ -	\$ -	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 66	\$0.00	145.00	\$-	\$	805.00	\$-	\$-	\$	-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 48	80.00 \$	119.00	\$-	\$	599.00	\$-	\$-	\$	-	\$-	\$ 751.00	\$ -
763	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22	21.00 \$	29.00	\$-	\$	250.00	\$ 168,623.00) \$ 22,127.0	0 \$	-	\$ 190,750.00	\$ 291.00	\$ 222,033.00
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$-	\$	2.90	\$-	\$-	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 10	6.00 \$	91.50	\$-	\$	197.50	\$-	\$-	\$	-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$-	\$	14.27	\$-	\$-	\$	-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$-	\$	2.32	\$-	\$-	\$	-	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 27	' 0.00 \$	111.00	\$ 10.3	80 \$	391.30	\$-	\$-	\$	-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	95.00 \$	37.50	\$-	\$	332.50	\$-	\$-	\$	-	\$-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$ -	\$	7.70	\$ -	\$-	\$	-	\$-	\$ 7.71	\$
3	-	ADA Toilet Renovation	Ea.	\$ 6,00	00.00 \$	6,000.00	\$ -	\$	12,000.00	\$ 18,000.00	\$ 18,000.0	0 \$	-	\$ 36,000.00	\$ 12,000.00	\$ 36,000.00
0	-	ADA Handrail Renovation	Run	\$ 70	00.00 \$	700.00	\$-	\$	1,400.00	\$ -	\$-	\$	-	\$-	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,50	00.00 \$	7,500.00	\$ -	\$	15,000.00	\$ -	\$-	\$	-	\$-	\$ 15,000.00	\$
0	-	Elevator Signage	Ea.	\$ 5	50.00 \$	50.00	\$ -	\$	100.00	\$ -	\$-	\$	-	\$-	\$ 100.00	\$ -
otal										\$ 200,856.50) \$ 23,631.2	3 \$	-	\$ 224,487.73		\$ 295,957.38





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
400	SCIB	Spring Branch Campus	Science Building	1080 W. Sam Houston Pkwy., 77043		0	1	19,417	\$641,000	\$4,439,000	14.44%

Sitework / Landscape Heavy foot traffic through existing planting beds, consider allowing for more efficient pedestrian traffic from building. Need to place College standard bike racks at building entry, along with replacing existing site furnishings with College standard. Large open plaza along front of entry, opportunity for focal point and shade. Irrigation system was not running during our site assessment. Current campus does not have any way-finding or HCC identification signage.

Sitework: The asphalt pavement in the parking lots shows major signs of ponding and need to be repaired. The storm inlets need to have the debris removed. Overall Rating: 4

Building Description The Science Building is part of a one-story converted retail center. The exterior of the building is in good condition. Storefront windows should be cleaned and maintained. The interiors for the classrooms, science labs, and restrooms are in good condition. damage.

Mechanical Fume hood exhaust units need to be replaced and stacks manifolded.

Electrical Main Switchgear needs attention and updating.

Plumbing No deficiencies noted.

Life Safety + ADA - Hazmat No deficiencies noted.

Photographs		
Date: 20-Jul-09	Date: 20-Jul-09	
Description: Southeast elevation of existing building.	Description: Science lab needing minor wall and base repair.	
<image/>		W Beitbury 8 W Sam Houston Playy W Sam Houston Playy W Sam Houston Playy W Sam Houston Play W Sam Houston Pl









College C Building (400 SCIB	-														
Building I		SCIB Science Building															
Qty.	Line Number	Description	Unit	Mate	rial	Labor	Equipm	ent	Total	Ex Mate		Extra Labor	and shares and	Extra uipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 1	04.00 \$	81.50	\$ 20	.00 \$	205.50	\$	-	\$ -	\$	-	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.41	\$	- \$	3.76	\$	-	\$-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,8	50.00 \$	595.00	\$	- \$	2,445.00	\$	-	\$-	\$	-	\$ -	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$	- \$	108.00	\$	-	\$-	\$	-	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2	.03 \$	9.03	\$	-	\$-	\$	-	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.61	\$	- \$	2.81	\$	-	\$-	\$	-	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$	- \$	2.00	\$	-	\$-	\$	-	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$	43.50 \$	2.03	\$	- \$	45.53	\$	-	\$-	\$	-	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$	50.00 \$	21.50	\$	- \$	71.50	\$	-	\$-	\$	-	\$ -	\$ 90.50	\$ -
128	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$	1.50 \$	1.83	\$	- \$	3.33	\$	192.00	\$ 234.2	4 \$	-	\$ 426.24	\$ 4.65	\$ 595.20
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$	0.12 \$	0.35	\$	- \$	0.47	\$	-	\$-	\$	-	\$-	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$	0.12 \$	0.41	\$	- \$	0.53	\$	-	\$-	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$	3.94 \$	3.31	\$	- \$	7.25	\$	-	\$-	\$	-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$	48.50 \$	4.00	\$	\$	52.50	\$	-	\$-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$6	10.00 \$	45.50	\$	- \$	655.50	\$	-	\$-	\$	-	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$	8.50 \$	10.60	\$	- \$	19.10	\$	-	\$-	\$	-	\$-	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$	- \$	0.75	\$	-	\$-	\$	-	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$	6.85 \$	3.06	\$	- \$	9.91	\$	-	\$-	\$	-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$	- \$	1.90	\$	-	\$-	\$	-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$	14.50 \$	8.25	\$	- \$	22.75	\$	-	\$-	\$	-	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 6	60.00 \$	145.00	\$	\$	805.00	\$	-	\$-	\$	-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 4	80.00 \$	119.00	\$	- \$	599.00	\$	-	\$-	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 2	21.00 \$	29.00	\$	\$	250.00	\$	-	\$-	\$	-	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$	\$	2.90	\$	-	\$-	\$	-	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 1	06.00 \$	91.50	\$	- \$	197.50	\$	-	\$-	\$	-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$	\$	14.27	\$	-	\$-	\$	-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$	- \$	2.32	\$	-	\$-	\$	-	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 2	70.00 \$	111.00	\$ 10	.30 \$	391.30	\$	-	\$-	\$	-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 2	95.00 \$	37.50	\$	- \$	332.50	\$	-	\$-	\$	-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$	\$	7.70	\$	-	\$-	\$	-	\$-	\$ 7.71	\$-
0		ADA Toilet Renovation	Ea.	\$ 6,0	00.00 \$	6,000.00	\$	\$	12,000.00	\$	-	\$-	\$	-	\$-	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 7	00.00 \$	700.00	\$	\$	1,400.00	\$	-	\$-	\$	-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,5	00.00 \$	7,500.00	\$	\$	15,000.00	\$	-	\$-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$	50.00 \$	50.00	\$	- \$	100.00	\$	-	\$-	\$	-	\$-	\$ 100.00	\$
fotal										\$	192.00	\$ 234.2	4 \$	-	\$ 426.24		\$ 595.20





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
400	SPBR	Spring Branch Campus	Spring Branch (Town & Country)	1010 W. Sam Houston Pkwy., 77043		0	1	32,306	\$2,421,000	\$7,240,000	33.44%

Sitework / Landscape Currently no entry signage to campus from parkway feeder road. Existing site furnishing is not College standard. Need to re-stake existing trees along front entry. No street trees along front entry - consider placing an awning along walkway. Need to review current vehicle traffic flow, consider making parking lot one way traffic to ease congestion at entry/exit. Provide gate at trash enclosure. Heavy erosion along maintenance walkway on east side of building because of rain gutters. Existing plant material is dying as on-site irrigation system is not working.

Building Description This building is the largest building on the Spring Branch campus. The building is a converted warehouse building is in good condition. Storefront windows should be cleaned and maintained. Majority of interior finishes are in good condition. Carpet in offices have traffic wear and should be updated and replaced. VCT in north and west corridor has cracking along center of corridor, could be occurring from minor settling or expansion joints in slab.

Mechanical Replace two AHU's.

Electrical Two main power services feed the now one combined building. Electrical switchgear needs updating and consolidation.

Plumbing No deficiencies noted.

Life Safety + ADA - Hazmat No deficiencies noted.

Photographs Date: 20-Jul-09 Description: West elevation of existing building. Description: Interior of main entry lobby. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Construction of existing building. Image: Constructio				
Description: West elevation of existing building. Description: Interior of main entry lobby.	Photographs			
	Date: 20-Jul-09	Date:	20-Jul-09	
	Description: West elevation of existing building.	Description:		
				W Behnay 8 W Estuary 8 W Estuary 8 Sam Houston Pravy N W Sam Houston Pravy N Sam Houston Pravy N R Hou









College C Building		400 SPBR	-											
Building		Spring Branch (Town & Country)												
Qty.	Line Number	Description	Unit	Material	Labor	Equipment	Total		Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20.00	\$ 20	5.50 \$; -	\$-	\$-	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$-	\$ 3	3.76 \$	ş -	\$-	\$ -	\$-	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$-	\$ 2,44	5.00 \$; -	\$-	\$ -	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$-	\$ 108.00	\$-	\$ 108	8.00 \$	-	\$-	\$ -	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2.03	\$ 9	9.03 \$	- 3	\$-	\$ -	\$-	\$ 11.95	\$ -
800	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$ -	\$ 2	2.81 \$	1,760.00	\$ 488.0	D \$ -	\$ 2,248.00	\$ 3.37	\$ 2,696.0
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$-	\$ 2	2.00 \$	- 3	\$-	\$ -	\$-	\$ 2.56	\$-
200	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$ -	\$ 45	5.53 \$	8,700.00	\$ 406.0	D\$-	\$ 9,106.00	\$ 51.18	\$ 10,236.0
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$-	\$ 7'	1.50 \$; -	\$-	\$ -	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$-	\$	3.33 \$	- S	\$-	\$-	\$-	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$-	\$ (0.47 \$; -	\$ -	\$ -	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$-	\$ (0.53 \$; -	\$-	\$ -	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$-	\$	7.25 \$; -	\$-	\$ -	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$-	\$ 52	2.50 \$; -	\$-	\$ -	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$-	\$ 655	5.50 \$; -	\$-	\$ -	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$-	\$ 19	9.10 \$; -	\$-	\$-	\$-	\$ 26.50	\$-
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$-	\$-	\$-	\$ (0.75 \$	- S	\$-	\$ -	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$-	\$ 9	9.91 \$	- S	\$-	\$ -	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$-	\$	1.90 \$; -	\$-	\$ -	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50	\$ 8.25	\$-	\$ 22	2.75 \$; -	\$-	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$-	\$ 805	5.00 \$; -	\$-	\$-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$-	\$ 599	9.00 \$	- 3	\$-	\$ -	\$-	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$-	\$ 250	0.00 \$	- 3	\$-	\$ -	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$-	\$ 2	2.90 \$	- 3	\$-	\$ -	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$-	\$ 197	7.50 \$	- 3	\$-	\$ -	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$-	\$ 14	4.27 \$		\$-	\$-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$-	\$ 2	2.32 \$	- S	\$-	\$-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10.30	\$ 39	1.30 \$	- S	\$-	\$ -	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$-	\$ 332	2.50 \$	- S	\$-	\$-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$-	\$	7.70 \$	-	\$-	\$-	\$-	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$-	\$ 12,000	0.00 \$	-	\$-	\$ -	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$ 700.00	\$-	\$ 1,400	0.00 \$	-	\$-	\$-	\$-	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$-	\$ 15,000	0.00 \$	-	\$-	\$-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$-	\$ 100	0.00 \$	-	\$-	\$ -	\$ -	\$ 100.00	\$
Fotal								\$	10,460.00	\$ 894.0	D\$-	\$ 11,354.00		\$ 12,932.0





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
400	KATY	Katy Campus	Westgate Center (was WSAT)	1550 Fox Lake Dr., 77084		0	3	108,503	\$7,841,000	\$18,480,000	42.43%

Sitework / Landscape Need to tend to existing turf in shaded areas. Replace mulch watering rings around existing trees. Parking lot trees need to be removed and replaced with another species. Existing parking lot spaces renovated to create seating areas, need to provide bollard protection within these spaces and make them more inviting. Planting beds need mulch placed within them. Need to provide College standard bike racks. Irrigation on-site is not working along east side. Refer to irrigation field report for assessment of existing system. Sitework: The parking lot pavement around the perimeter of the building is cracking heavily. Overall Rating: 4

Building Description The Westgate Center is an existing three-story office building. The exterior of the building is in good condition. The interiors of the building are in good condition with ongoing remodeling. A few of the first floor office suites are in the process of relocating and/or have relocated. The restrooms meet ADA compliance. The carpet in the classrooms and offices throughout the building needs to be updated and replaced. Classrooms on the second floor need to be repainted.

Replace the 135 ton Chiller; All of the AHU's; and all four of the exhaust fans on the roof need to be replaced. Need an A/C unit for the water service room.

Electrical IT and Computer systems have UPS backups that need additional capacity and surge protection updating.

Plumbing Restrooms and water fountains throughout need to be ADA compliant. The main domestic water service line entering the building had a leak that was not repaired properly, Entire water needs to be replaced. Hot water heaters need replacement. Janitor sink in telephone room of second floor needs replacement.

Life Safety - ADA - Hazmat No deficiencies noted. See ADA Code of Standards sections 4.16 through 4.19.

Photographs		
Date: 19-Jul-09	Date: 19-Jul-09	
Description: Northwest elevation of existing building.	Description: Remodeled student lounge on first floor.	









College Code Building Code		400 KATY													
Building Code Building Name		KATY Westgate Center	-												
Qty.	Line Number	Description	Unit	Mater	ial	Labor	Equipmer	nt T	otal	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 10	04.00 \$	81.50	\$ 20.0	0 \$	205.50	\$-	\$-	\$ -	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.41	\$-	\$	3.76	\$-	\$-	\$-	\$-	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,85	50.00 \$	595.00	\$-	\$ 2	2,445.00	\$-	\$-	\$-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$-	\$	108.00	\$-	\$-	\$-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2.0	3 \$	9.03	\$-	\$-	\$-	\$-	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 1/2" x 3/32"	S.F.	\$	2.20 \$	0.61	\$-	\$	2.81	\$-	\$-	\$-	\$-	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$-	\$	2.00	\$-	\$-	\$-	\$-	\$ 2.56	\$-
4000	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 4	3.50 \$	2.03	\$-	\$	45.53	\$ 174,000.00	\$ 8,120.00	\$-	\$ 182,120.00	\$ 51.18	\$ 204,720.00
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$5	50.00 \$	21.50	\$-	\$	71.50	\$-	\$-	\$-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. 3	\$	1.50 \$	1.83	\$-	\$	3.33	\$ -	\$-	\$-	\$ -	\$ 4.65	\$ -
100000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. 3	\$	0.12 \$	0.35	\$-	\$	0.47	\$ 12,000.00	\$ 35,000.00	\$-	\$ 47,000.00	\$ 0.69	\$ 69,000.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. 3	\$	0.12 \$	0.41	\$-	\$	0.53	\$ -	\$-	\$-	\$ -	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. 3	\$	3.94 \$	3.31	\$-	\$	7.25	\$-	\$-	\$-	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. 3	\$ 4	8.50 \$	4.00	\$-	\$	52.50	\$-	\$-	\$-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 61	0.00 \$	45.50	\$-	\$	655.50	\$-	\$-	\$-	\$-	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. 3	\$	8.50 \$	10.60	\$-	\$	19.10	\$-	\$-	\$-	\$-	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$-	\$	0.75	\$-	\$-	\$-	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. 3	\$	6.85 \$	3.06	\$-	\$	9.91	\$ -	\$-	\$ -	\$ -	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$-	\$	1.90	\$ -	\$-	\$ -	\$ -	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$ 1	4.50 \$	8.25	\$-	\$	22.75	\$-	\$-	\$-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 66	\$0.00	145.00	\$-	\$	805.00	\$-	\$-	\$ -	\$ -	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 48	80.00 \$	119.00	\$-	\$	599.00	\$-	\$-	\$-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22	21.00 \$	29.00	\$-	\$	250.00	\$-	\$-	\$-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$-	\$	2.90	\$-	\$-	\$-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 10	6.00 \$	91.50	\$-	\$	197.50	\$-	\$-	\$-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$-	\$	14.27	\$-	\$-	\$-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$-	\$	2.32	\$-	\$-	\$-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 27	' 0.00 \$	111.00	\$ 10.3	0\$	391.30	\$-	\$-	\$-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	95.00 \$	37.50	\$-	\$	332.50	\$-	\$-	\$-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$-	\$	7.70	\$-	\$-	\$-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,00	00.00 \$	6,000.00	\$-	\$ 12	2,000.00	\$-	\$-	\$-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 70	00.00 \$	700.00	\$-	\$	1,400.00	\$-	\$-	\$-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,50	00.00 \$	7,500.00	\$-	\$ 1	5,000.00	\$-	\$-	\$-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$5	50.00 \$	50.00	\$-	\$	100.00	\$ -	\$-	\$ -	\$-	\$ 100.00	\$
otal										\$ 186,000.00	\$ 43,120.00	\$ -	\$ 229,120.00		\$ 273,720.00





Southeast College

Angela Morales Bu Eastside A Felix Morales Bu Felix Fraga Acad Office Southeast Learning Temporary Classroo Temporary Classroo

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oms 2	 Page	5-85





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	AM	Eastside Campus	Angela Morales Building	6816 Rustic St., 77087	1999	0	3	65,000	\$478,000.00	\$1,310,000.00	36.49%

Sitework / Landscape Need to provide screening of existing trash area. Trees need to be re-staked in the parking lot. Existing uplights along east side need adjustment, west side is missing uplights. Need to repair uplights on front entry sign. Existing billboard and HCC sign create a congested corner. Need to replace site furnishings with College standard. Roses along front entry sign need to be removed and replaced with an alternate plant material. Re-mulch all planting beds. Irrigation system was not run during assessment as it was broken. Sitework: One birdbath is noticeable in the parking lot. Also, the inlets need the inverts to be poured. Overall rating: 4

Building Description The Angela Morales building is a three story slab on grade building with a standing seam metal roof system. Repair crack in gypsum board wall @ Rm. 1015. VCT and carpet flooring in need of general cleaning. Replace carpet at Rms. 1025, 1026, 3004, 3005, 3007, 3008, 3010 & 3011B. Vending machine has damaged VCT @ snack bar; replace VCT. Replace VCT flooring @ Rms. 205, 225, 2023 & 2024. Replace/repair damaged ceiling tile @ Rms. 1004 & 2006

Mechanical Mechanical Room #145: AHU needs to be replaced. Pneumatic system needs to be replaced.

Électrical No deficiencies noted.

Plumbing. No deficiencies noted.

Life Safety - ADA - Hazmat Lab tables are not wheel chair-accessible @ Rms. 201 & 203. Restrooms do not comply with ADA/TAS. No Fire Alarm strobe (visual alert) observed in Rm. 2014. See ADA Code of Standards sections 4.16 through 4.19

Photographs			
Date: 20-May-09	Date:	20-May-09	
Description: Exterior shot of Angela Morales Building	Description:	Exterior shot of front entrance of the Angela Morales Building	6700
			Former B and the second









HCC Facilities Assessment Cost Estimates by Deficiencies - Architectural Items

College (Building		500 AM										
Building		Angela Morales Building										
Qty.	Line Number	Description	Unit	Material	Labor Equipment	t Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00	\$ 81.50 \$ 20.00	\$ 205.50	\$-	\$-	\$-	\$-	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35	\$ 3.41 \$ -	\$ 3.76	\$ -	\$-	\$-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00	\$ 595.00 \$ -	\$ 2,445.00	\$-	\$-	\$-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	; -	\$ 108.00 \$ -	\$ 108.00	\$ -	\$ -	\$-	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61	\$ 4.39 \$ 2.03	\$ 9.03	\$-	\$-	\$-	\$-	\$ 11.95	\$-
2500	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 1/2" x 3/32"	S.F. \$	2.20	\$ 0.61 \$ -	\$ 2.81	\$ 5,500.00	\$ 1,525.00	\$-	\$ 7,025.00	\$ 3.37	\$ 8,425.00
1200	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36	\$ 0.64 \$ -	\$ 2.00	\$ 1,632.00	\$ 768.00	\$-	\$ 2,400.00	\$ 2.56	\$ 3,072.00
500	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50	\$ 2.03 \$ -	\$ 45.53	\$ 21,750.00	\$ 1,015.00	\$-	\$ 22,765.00	\$ 51.18	\$ 25,590.00
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00	\$ 21.50 \$ -	\$ 71.50	\$-	\$-	\$-	\$-	\$ 90.50	\$ -
64	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50	\$ 1.83 \$ -	\$ 3.33	\$ 96.00	\$ 117.12	\$-	\$ 213.12	\$ 4.65	\$ 297.60
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12	\$ 0.35 \$ -	\$ 0.47	\$-	\$ -	\$-	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12	\$ 0.41 \$ -	\$ 0.53	\$-	\$-	\$-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94	\$ 3.31 \$ -	\$ 7.25	\$-	\$-	\$-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50	\$ 4.00 \$ -	\$ 52.50	\$-	\$-	\$-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00	\$ 45.50 \$ -	\$ 655.50	\$-	\$-	\$-	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50	\$ 10.60 \$ -	\$ 19.10	\$-	\$-	\$-	\$-	\$ 26.50	\$ -
0			S.F. \$; -	\$ - \$ -	\$ 0.75	\$ -	\$-	\$ -	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85	\$ 3.06 \$ -	\$ 9.91	\$ -	\$-	\$-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93	\$ 0.97 \$ -	\$ 1.90	\$ -	\$-	\$ -	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F. \$	14.50	\$ 8.25 \$ -	\$ 22.75	\$-	\$-	\$-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00	\$ 145.00 \$ -	\$ 805.00	\$-	\$-	\$-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening)png. \$	480.00	\$ 119.00 \$ -	\$ 599.00	\$-	\$-	\$-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00	\$ 29.00 \$ -	\$ 250.00	\$-	\$-	\$-	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45	\$ 1.45 \$ -	\$ 2.90	\$-	\$-	\$-	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00	\$ 91.50 \$ -	\$ 197.50	\$-	\$-	\$-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55	\$ 4.72 \$ -	\$ 14.27	\$-	\$-	\$-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49	\$ 0.83 \$ -	\$ 2.32	\$-	\$-	\$-	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00	\$ 111.00 \$ 10.30	\$ 391.30	\$ -	\$ -	\$ -	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00	\$ 37.50 \$ -	\$ 332.50	\$-	\$ -	\$ -	\$ -	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F. \$	3.85	\$ 3.85 \$ -	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea. \$	6,000.00	\$ 6,000.00 \$ -	\$ 12,000.00	\$-	\$-	\$ -	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run \$	700.00	\$ 700.00 \$ -	\$ 1,400.00	\$-	\$-	\$ -	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea. \$	7,500.00	\$ 7,500.00 \$ -	\$ 15,000.00	\$-	\$-	\$-	\$-	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea. \$	50.00	\$ 50.00 \$ -	\$ 100.00	\$-	\$-	\$ -	\$ -	\$ 100.00	\$-
Total							\$ 28,978.00	\$ 3,425.12	\$ -	\$ 32,403.12		\$ 37,384.60





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	ESAN	Eastside Campus	Eastside Annex	2524 Garland St., 77087	1965	0	1	25,300	\$90,000.00	\$4,846,000.00	1.86%

Sitework / Landscape Need to re-grade and re-sod north turf area. Existing furnishings in courtyard area are not College standard. Need to fill in Indian Hawthorn beds within courtyard space. Need to replace entry sign uplights. Need to place trash enclosure around existing trash receptacles. Need to clean up leafs and debris in south west corner of site, around temporary buildings. Irrigation system was not run during assessment because of on-site construction. If west area is being used for storage, need to provide secure enclosure. Sitework: The paving of the side parking lot is severely deteriorated and needs immediate repair. The storm sewer pipes protrude in the storm inlets. Overall Rating: 3

Building Description The facility consists of a renovated church with a renovated theatre in the former sanctuary and three single story buildings. All buildings consists of wood framing with wood siding or brick veneer and composition roofing. Repair damaged gypsum board wall @ Rm. B3. Replace carpet at Rm. B1. Replace VCT flooring @ Rms. B1-B4, B6, B7, Kitchen, 9, 10, 12-15. Replace/repair damaged ceiling tile @ Principal's Office. Replace damaged asphalt shingle roof. Replace damaged asphalt shingle roof. Replace improperly applied asphalt roofing material turned up on vertical wall surface with Hardiplank system.

Mechanical Split DX systems need to be replaced.

Électrical Electrical switchgear is old and needs to be updated.

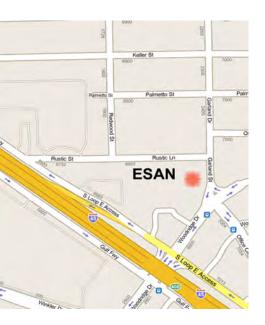
Plumbing No deficiencies noted.

Life Safety - ADA - Hazmat Women's Toilet does not comply with ADA/TAS. Men's Toilet has no Handi-Cap Stall and does not comply with ADA/TAS; exposed piping @ sink is uninsulated. No Fire Alarm strobe (visual alert) or smoke detector observed @ Rms. B1-B4, B6, B7, 9, 10, 13-15. See ADA Code of Standards sections 4.16 through 4.19

Photographs		
Date: 20-May-09	Date: 20-May-09	
Description: Exterior Eastside Annex Buildings	Description: Exterior Eastside Annex Buildings	2 6700
		And









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uilding		Eastside Annex														
Qty.	Line Number	Description	Unit	Mate	rial	Labor	Equipmer	it	Total	Extra Material	Ex Lal	tra por	Extra Equipmen	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. S	\$ 1	04.00 \$	81.50	\$ 20.0	0 \$	205.50	\$-	\$	-	\$-	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. 5	\$	0.35 \$	3.41	\$-	\$	3.76	\$-	\$	-	\$-	\$ -	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,8	350.00 \$	595.00	\$-	\$	2,445.00	\$-	\$	-	\$-	\$ -	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$-	\$	108.00	\$-	\$	-	\$-	\$ -	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. 8	\$	2.61 \$	4.39	\$ 2.0	3\$	9.03	\$-	\$	-	\$-	\$ -	\$ 11.95	\$-
7200	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. 3	\$	2.20 \$	0.61	\$-	\$	2.81	\$ 15,840.0	0 \$ 4,	392.00	\$-	\$ 20,232.00	\$ 3.37	\$ 24,264.0
150	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. 5	\$	1.36 \$	0.64	\$ -	\$	2.00	\$ 204.0	0\$	96.00	\$-	\$ 300.00	\$ 2.56	\$ 384.0
20	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. 8	\$	43.50 \$	2.03	\$-	\$	45.53	\$ 870.0	0\$	40.60	\$-	\$ 910.60	\$ 51.18	\$ 1,023.6
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$	50.00 \$	21.50	\$-	\$	71.50	\$-	\$	-	\$-	\$ -	\$ 90.50	\$ -
64	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. 8	\$	1.50 \$	1.83	\$-	\$	3.33	\$ 96.0	0 \$	117.12	\$-	\$ 213.12	\$ 4.65	\$ 297.6
10000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. 5	\$	0.12 \$	0.35	\$-	\$	0.47	\$ 1,200.0	0 \$ 3,	500.00	\$-	\$ 4,700.00	\$ 0.69	\$ 6,900.0
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. 5	\$	0.12 \$	0.41	\$-	\$	0.53	\$-	\$	-	\$-	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. 5	\$	3.94 \$	3.31	\$-	\$	7.25	\$-	\$	-	\$-	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. 5	\$	48.50 \$	4.00	\$-	\$	52.50	\$-	\$	-	\$-	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$6	\$10.00 \$	45.50	\$-	\$	655.50	\$-	\$	-	\$-	\$ -	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. 5	\$	8.50 \$	10.60	\$ -	\$	19.10	\$-	\$	-	\$-	\$ -	\$ 26.50	\$-
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$ -	\$	0.75	\$-	\$		\$-	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. 5	\$	6.85 \$	3.06	\$ -	\$	9.91	\$-	\$	-	\$-	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	\$	0.93 \$	0.97	\$ -	\$	1.90	\$-	\$	-	\$-	\$ -	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$	14.50 \$	8.25	\$ -	\$	22.75	\$-	\$	-	\$-	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. S	\$6	60.00 \$	145.00	\$ -	\$	805.00	\$-	\$	-	\$ -	\$ -	\$ 953.00	\$ -
0		Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. S		80.00 \$	119.00		\$	599.00		\$	-	\$ -	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.		21.00 \$	29.00	\$ -	\$	250.00	\$ -	\$	-	\$ -	\$ -	\$ 291.00	\$ -
120	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. 5	\$	1.45 \$	1.45	\$ -	\$	2.90	\$ 174.0	0 \$	174.00	\$-	\$ 348.00	\$ 4.00	\$ 480.0
20		Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. S	\$ 1	06.00 \$	91.50	\$ -	\$	197.50	\$ 2,120.0	0\$1,	830.00	\$-	\$ 3,950.00	\$ 280.00	\$ 5,600.0
20	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. S	\$	9.55 \$	4.72	\$ -	\$	14.27	\$ 191.0	0 \$	94.40	\$-	\$ 285.40	\$ 18.95	\$ 379.0
60	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	\$	1.49 \$	0.83	\$ -	\$	2.32	\$ 89.4	0 \$	49.80	\$-	\$ 139.20	\$ 3.12	\$ 187.2
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 2	270.00 \$	111.00	\$ 10.3	0 \$	391.30	\$ -	\$		\$-	\$ -	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. S	\$ 2	295.00 \$	37.50	\$ -	\$	332.50	\$-	\$	-	\$-	\$ -	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$ -	\$	7.70	\$ -	\$	-	\$-	\$ -	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,0	\$ 00.00	6,000.00	\$-	\$ ·	12,000.00	\$-	\$	-	\$-	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$7	700.00 \$	700.00	\$-	\$	1,400.00	\$-	\$	-	\$-	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,5	\$ 00.00	7,500.00	\$-	\$ ´	15,000.00	\$-	\$	-	\$-	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$	50.00 \$	50.00	\$-	\$	100.00	\$-	\$	-	\$-	\$ -	\$ 100.00	\$-
otal			<u> </u>		I					\$ 20,784.4	0 \$ 10	293 92	\$ -	\$ 31,078.32		\$ 39,515.40





Facility Condition Executive Summary

ľ	College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors Gross	Repair Costs	Replacement Costs	FCI
	500	FM	Eastside Campus	Felix Morales Building	6815 Rustic St., 77087	1990	0	1 54,345	\$568,000.00	\$9,872,000.00	5.75%

Sitework / Landscape Need to provide screening of existing trash area. Refer to landscape field report for trees that need to be re-staked in the parking lot. Existing uplights along east side need adjustment, west side is missing uplights. Need to repair uplights on front entry sign. Existing billboard and HCC sign create a congested corner. Need to replace site furnishings with College standard. Roses along front entry sign need to be removed and replaced with an alternate plant material. Re-mulch all planting beds. Irrigation system was not run during assessment as it was broken. Sitework: One birdbath is noticeable in the parking lot. The manholes and inverts need minor work. There is broken pavement and sidewalks Overall rating: 3.5

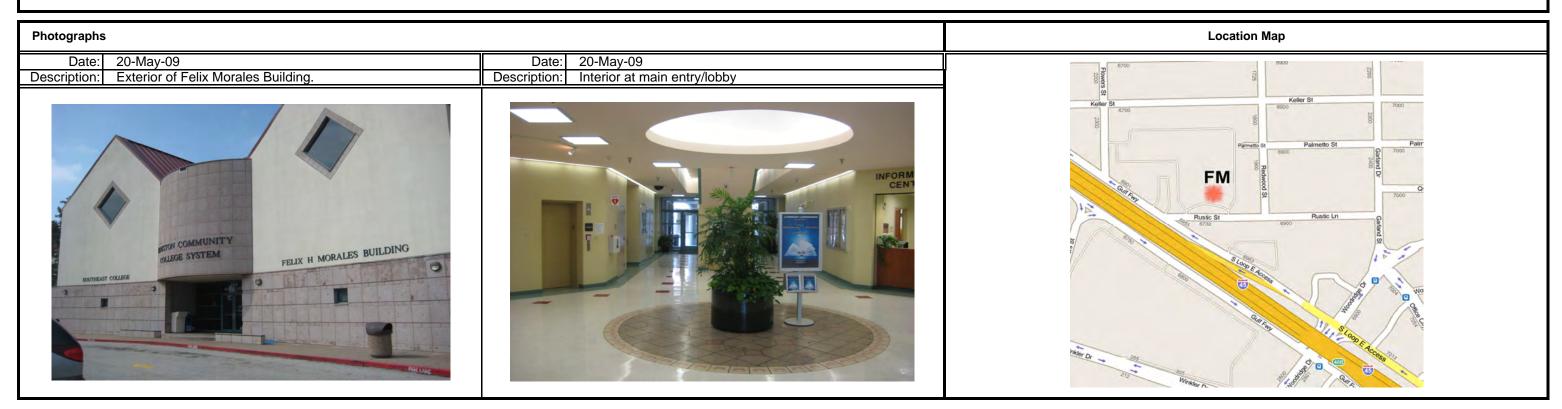
Building Description Building consists of a three story slab-on-grade, constructed from a structural steel frame with poured-in-place decks. Standing seam metal roof system. Observed excessive standing water at roof to connecting crosswalk; verify existing roof slope for positive drainage. VCT flooring in need of general cleaning. Window wall @ Room 105 leaks. Replace carpet at Rms. 115, 237 & 240. Water leak has damaged VCT @ Rm. 109.8; repair leak and replace VCT. Replace VCT flooring @ Rms. 205, 225, 2023 & 2024. Replace/repair damaged ceiling tile and grid @ Rms.202, 213 and 237. Alleged movement of floor in library and the wall. Previous repairs have reportedly been ineffective. This problem needs to be investigated and corrected.

Mechanical No deficiencies noted.

Électrical No deficiencies noted.

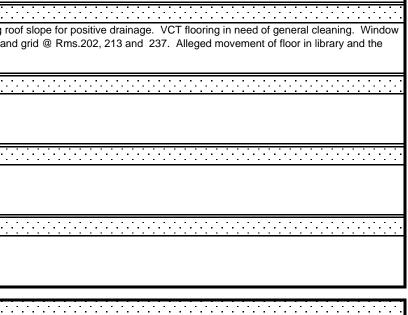
Plumbing No deficiencies noted.

Life Safety - ADA - Hazmat Lab tables are not wheel chair-accessible @ Rms. 201 & 203. See ADA Code of Standards sections 4.16 through 4.19. No smoke detectors observed in Rm. 215











0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	me Line Number 075113204300 019313043130 083323100300 040120209000 096613102710 096519107300 095123300600 096813100210 089119100800 092116331600 099123740840	FM Felix Morales Building Description Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped Pointing masonry, repoint, mask and grout method, running bond Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware Pointing masonry, minimum labor/equipment charge Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32" Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	Unit Sq. S.F. Ea. Job S.F. S.F. S.F.	Material \$ 104.0 \$ 0.0 \$ 1,850.0 \$ - \$ 2.6 \$ 2.6	5 \$ 00 \$ \$	Labor 81.50 3.41 595.00 108.00	\$ -	00 \$ \$		1	Extra Material -	Extra Labor \$ -	\$	Extra quipment	Extra(s) Total \$ -	Total Overhead & Profit \$ 281.00	Total Line Item Cost
0 0 0 0 0 0 0 0 1800 200 0 64 0 0 0 0 0 0 0 0 0 0 0 0 0	075113204300 019313043130 083323100300 040120209000 096613102710 096519107300 095123300600 096813100210 089119100800 092116331600 099123740840	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped Pointing masonry, repoint, mask and grout method, running bond Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware Pointing masonry, minimum labor/equipment charge Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32" Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	Sq. S.F. Ea. Job S.F. S.F.	\$ 104.0 \$ 0.3 \$ 1,850.0 \$ - \$ 2.6	5 \$ 00 \$ \$	81.50 3.41 595.00	\$ 20. \$ -	00 \$ \$	205.5 3.7	50 \$		Labor \$ -	\$	quipment	Total	Overhead & Profit	Item Cost
0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	019313043130 083323100300 040120209000 096613102710 096519107300 095123300600 096813100210 089119100800 092116331600 099123740840	Pointing masonry, repoint, mask and grout method, running bond Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware Pointing masonry, minimum labor/equipment charge Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32" Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. Ea. Job S.F. S.F.	\$ 0.3 \$ 1,850.0 \$ - \$ 2.6	5 \$ 00 \$ \$	3.41 595.00	\$ -	\$	3.7		-		-	-	\$-	\$ 281.00	¢
0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	083323100300 040120209000 096613102710 096519107300 095123300600 096813100210 089119100800 092116331600 099123740840	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware Pointing masonry, minimum labor/equipment charge Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32" Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	Ea. Job S.F. S.F.	\$ 1,850.0 \$ - \$ 2.6	00 \$ \$	595.00	-	\$		6\$	-	¢					φ -
0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	040120209000 096613102710 096519107300 095123300600 096813100210 089119100800 092116331600 099123740840	Pointing masonry, minimum labor/equipment charge Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32" Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	Job S.F. S.F.	\$ - \$ 2.6	\$		\$-	\$				φ -	\$	-	\$ -	\$ 5.89	\$ -
0 3000 1800 200 64 0 0 0	096613102710 096519107300 095123300600 096813100210 089119100800 092116331600 099123740840	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32" Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. S.F.	\$ 2.6	-	108.00		Ψ	2,445.0	0 \$	-	\$-	\$	-	\$-	\$ 3,125.00	\$-
3000 1800 200 64 0 0	096519107300 095123300600 096813100210 089119100800 092116331600 099123740840	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32" Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.		51 \$		\$ -	\$	108.0	0 \$	-	\$-	\$	-	\$-	\$ 175.00	\$ -
1800 200 0 64 0 0	095123300600 096813100210 089119100800 092116331600 099123740840	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels		\$ 2.2		4.39	\$ 2.	03 \$	9.0	3 \$	-	\$-	\$	-	\$-	\$ 11.95	\$ -
2000 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	096813100210 089119100800 092116331600 099123740840		S.F.		20 \$	0.61	\$-	\$	2.8	\$1 \$	6,600.00	\$ 1,830.	00 \$	-	\$ 8,430.00	\$ 3.37	\$ 10,110.00
0 64 0 0	089119100800 092116331600 099123740840	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"		\$1.:	6\$	0.64	\$-	\$	2.0	00\$	2,448.00	\$ 1,152.	00 \$	-	\$ 3,600.00	\$ 2.56	\$ 4,608.00
64 0 0	092116331600 099123740840		S.Y.	\$ 43.5	i0 \$	2.03	\$-	\$	45.5	i3 \$	8,700.00	\$ 406.	00 \$	-	\$ 9,106.00	\$ 51.18	\$ 10,236.00
0	099123740840	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.0	0 \$	21.50	\$-	\$	71.5	50 \$	-	\$-	\$	-	\$-	\$ 90.50	\$ -
0		Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$1.5	i0 \$	1.83	\$-	\$	3.3	3 \$	96.00	\$ 117.	12 \$	-	\$ 213.12	\$ 4.65	\$ 297.60
	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.1	2 \$	0.35	\$ -	\$	0.4	7 \$	-	\$-	\$	-	\$-	\$ 0.69	\$-
0		Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.1	2 \$	0.41	\$ -	\$	0.5	3\$	-	\$-	\$	-	\$-	\$ 0.79	\$-
	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.9	4 \$	3.31	\$ -	\$	7.2	5 \$	-	\$-	\$	-	\$ -	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.5	i0 \$	4.00	\$-	\$	52.5	io \$	-	\$-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.0	0 \$	45.50	\$-	\$	655.5	io \$	-	\$-	\$	-	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste,	S.F.	\$8.	io \$	10.60	\$ -	\$	19.1	0 \$	-	\$-	\$	-	\$ -	\$ 26.50	\$ -
0		excludes scaffolding, grout and reinforcing Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$	_	\$ -	\$	0.7	′5 \$	_	\$-	\$	-	\$-	\$ 0.90	\$ -
		Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.8	5 \$	3.06	\$ -	\$		01 \$		\$ -	\$	_	\$-	\$ 12.29	
		Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.		3 \$	0.97		\$		0 \$		\$ -	\$		\$-	\$ 2.53	
0		Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.			8.25		\$		′5 \$	_	\$ -	\$	-	\$ -	\$ 29.20	
-								φ					<u> </u>		·	\$ 953.00	·
		Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.0		145.00		•	805.0		-	-		-	\$ - ¢	\$ 953.00 \$ 751.00	
		Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening Auditorium chair, veneer back, padded seat	Opng.					•			-	, ·		-	ъ -		
		Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	Ea. S.F.		0 \$ 5 \$	29.00		\$		00 \$ 00 \$	-	\$ - \$ -		-	\$ - \$ -	\$ 291.00 \$ 4.00	
		Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.		.5 \$ 10 \$	91.50		\$			848.00	•	 00 \$		\$ 1,580.00	•	-
		Asphalt Shingles, premium, ianimated multi-fayered shingles, class C, 500-365 lb/sq, 5 bundles/sq Asphalt Shingles, #30 felt underlayment	Sq.		5 \$	4.72		-		27 \$	76.40		76 \$		\$ 1,380.00 \$ 114.16		
		Asphalt Shingles, ridge shingles	L.F.		9 \$	0.83				32 \$		\$ 57. \$ -			¢ 114.10	\$ 3.12	
		Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.(111.00		30 \$	391.3			\$ -	-	-	\$ -	\$ 514.35	
		Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.		-	37.50		50 \$ \$	332.5			\$ -			\$ -	\$ 387.00	
0		Wood Strip Flooring	La.		5 \$	3.85				70 \$		\$ -		-	\$ -	\$ 7.71	
0		ADA Toilet Renovation	Ea.		-	6,000.00			12,000.0		-	ء - 19 -	-			\$ 12,000.00	•
0		ADA Handrail Renovation	Run		0 \$				1,400.0			\$ -				\$ 1,400.00	
0		Wheelchair Lift	_	\$ 7,500.0		7,500.00	-		15,000.0	-	_	\$ -		-	\$ -	\$ 15,000.00	
0		Elevator Signage	Ea.		io \$	50.00		\$	100.0		-	ء - 19 -	\$		\$ - \$ -	\$ 100.00 \$ 100.00	
tal			<u> </u>	- 00.0	- ¥	00.00	↓ [−]	Ψ		-Ψ			Ψ				





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FC
500	FFAC	Eastside Campus	Felix Fraga Academic	3031 N. Drennan St., 77033	2009	0	3	69,100	\$0	\$12,594,000	0.00
Sitework / L Sitework: N/A	andscape			•••••••••••••••••••••••••••••••••••••••	·····			·····		· <u>·····</u> ······························	<u></u>
	escription a Academic buildi	ing is a new three-story building still under construction	n at the time of inspections. The building should be of	pen and ready for use by the end of the year (2009) o	r beginning of ne	ext year (2010).	·····	<u></u>	·····		<u></u>
lechanical uilding not ye		were not allowed inside. Will be under full warranty.		· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·		·····	·····		<u></u>
lectrical uilding not ye	t completed and v	were not allowed inside. Will be under full warranty.	•••••••••••••••••••••••••••••••••••••••	·····		· · · · · · · · · · · · · · · · · · ·	·····		·····	·····	<u></u>
Plumbing		were not allowed inside. Will be under full warranty.		·····			·····				<u></u>
unung not ye		were not anowed inside. Will be under full walldlity.									
	- ADA - Hazm										

No deficiencies noted.

Photographs				
Date:		Date:	14-Sep-09	
Description:	Exterior of the Felix Fraga Academic Building	Description:	Exterior of the Felix Fraga Academic Building	









ollege (uilding		500 FFAC]													
uilding		FAC Felix Fraga Academic														
Qty.	Line Number	Description	Unit	Materia	al	Labor	Equipme	nt	Total	Extra Material	Extra Labor	and an an an an an an an an	tra oment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104	4.00 \$	81.50	\$ 20.0	0 \$	205.50	\$ -	\$-	\$	-	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ C	0.35 \$	3.41	\$-	\$	3.76	\$ -	\$-	\$	-	\$ -	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850	0.00 \$	595.00	\$-	\$	2,445.00	\$ -	\$-	\$	-	\$ -	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$-	\$	108.00	\$ -	\$-	\$	-	\$ -	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$2	2.61 \$	4.39	\$ 2.0	3 \$	9.03	\$ -	\$-	\$	-	\$ -	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$2	2.20 \$	0.61	\$-	\$	2.81	\$ -	\$-	\$	-	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$1	1.36 \$	0.64	\$-	\$	2.00	\$-	\$-	\$	-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43	3.50 \$	2.03	\$-	\$	45.53	\$ -	\$-	\$	-	\$ -	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50	0.00 \$	21.50	\$-	\$	71.50	\$ -	\$-	\$	-	\$ -	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$1	1.50 \$	1.83	\$-	\$	3.33	\$-	\$-	\$	-	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ C	0.12 \$	0.35	\$-	\$	0.47	\$ -	\$-	\$	-	\$ -	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ C	0.12 \$	0.41	\$-	\$	0.53	\$ -	\$-	\$	-	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3	3.94 \$	3.31	\$-	\$	7.25	\$ -	\$-	\$	-	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48	3.50 \$	4.00	\$-	\$	52.50	\$ -	\$-	\$	-	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610	0.00 \$	45.50	\$-	\$	655.50	\$ -	\$-	\$	-	\$ -	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$8	3.50 \$	10.60	\$-	\$	19.10	\$-	\$-	\$	-	\$ -	\$ 26.50	\$-
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$-	\$	0.75	\$ -	\$-	\$	-	\$ -	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6	6.85 \$	3.06	\$-	\$	9.91	\$ -	\$-	\$	-	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ C	0.93 \$	0.97	\$-	\$	1.90	\$-	\$-	\$	-	\$ -	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$ 14	4.50 \$	8.25	\$-	\$	22.75	\$-	\$-	\$	-	\$ -	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660	0.00 \$	145.00	\$-	\$	805.00	\$-	\$-	\$	-	\$ -	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480	0.00 \$	119.00	\$-	\$	599.00	\$ -	\$-	\$	-	\$ -	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221	1.00 \$	29.00	\$-	\$	250.00	\$ -	\$-	\$	-	\$ -	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$1	1.45 \$	1.45	\$-	\$	2.90	\$ -	\$-	\$	-	\$ -	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106	6.00 \$	91.50	\$-	\$	197.50	\$ -	\$-	\$	-	\$ -	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9	9.55 \$	4.72	\$-	\$	14.27	\$ -	\$-	\$	-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1	1.49 \$	0.83	\$-	\$	2.32	\$ -	\$-	\$	-	\$ -	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270	0.00 \$	111.00	\$ 10.3	0 \$	391.30	\$ -	\$-	\$	-	\$ -	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295	5.00 \$	37.50	\$-	\$	332.50	\$-	\$-	\$	-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3	3.85 \$	3.85	\$-	\$	7.70	\$-	\$-	\$	-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000	0.00 \$	6,000.00	\$-	\$ 1	2,000.00	\$-	\$-	\$	-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 700	0.00 \$	700.00	\$-	\$	1,400.00	\$-	\$-	\$	-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500	0.00 \$	7,500.00	\$-	\$ 1	5,000.00	\$-	\$-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 50	0.00 \$	50.00	\$ -	\$	100.00	\$	\$-	\$	-	\$-	\$ 100.00	\$-
otal										\$ -	\$-	\$	-	\$-		\$-





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	OFFCTY	Eastside Campus	Office City	7015 Gulf Frwy, Suite 200, 77087	0	2	8,246	\$35,000	\$2,050,000	1.71%
	collems were reported.	General Rating 5		·····	·····	·····	<u></u>		· <u>·····</u>	· · · · · · · · · · · · · · · · · · ·
	escription	a is in need of general cleaning and interior nai	nting. Two (2) classrooms did not have doorstops or v	wall protection leading to wall damage from the door s	wings	·····		·····	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · ·
Mechanica This facility is i		t maintained by Aramark or HCC.	- <u></u>	<u></u>	<u></u>	<u></u>	<u></u>	· <u>····················</u>	<u></u>	<u></u>
Fland states at 1	<u></u>	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·	·····	·····		· · · · · · · ·		<u></u>	
Electrical No deficiencies	s noted.			······································	······································	<u></u>	<u></u>	<u> </u>	<u></u>	<u> </u>
Plumbing									·····	·.·.·.
No deficiencies	noted.			······································	<u>·····································</u>	<u></u>	<u>····</u>	<u> </u>	<u></u>	<u> </u>

Photographs		
Date: 20-May-09	Date:	
Description: Exterior shot of Office City Building	Description:	wood St
	SCHOOL UDENTS IN IN I	









ollege C uilding (500 OFFCTY	1												
uilding I	Name	Office City		<u> </u>			•								
Qty.	Line Number	Description	Unit	Vaterial	Labor	Equipment	Total	Extra Materi	141 AL 41 AL 41 AL 41 A	Extra Labor	Extra Equipm	1.1.1.1.1.1.1	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00 \$	81.50	\$ 20.00	\$ 205.5	D \$	- :	\$-	\$	-	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35 \$	3.41	\$ -	\$ 3.7	5 \$	- !	\$-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00 \$	595.00	\$ -	\$ 2,445.0	D \$	- :	\$-	\$	-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	- 4	108.00	\$-	\$ 108.0	C \$	- !	\$-	\$	-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61 \$	6 4.39	\$ 2.03	\$ 9.0	3 \$	- :	\$-	\$	-	\$-	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. \$	2.20 \$	6 0.61	\$ -	\$ 2.8	1 \$	- :	\$-	\$	-	\$-	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36 \$	6 0.64	\$ -	\$ 2.0	D \$	- :	\$-	\$	-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50 \$	2.03	\$ -	\$ 45.5	3 \$	- :	\$-	\$	-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00 \$	5 21.50	\$ -	\$ 71.5	D \$	- :	\$-	\$	-	\$-	\$ 90.50	\$-
128	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50 \$	5 1.83	\$-	\$ 3.3	3 \$ 19	2.00 \$	5 234.24	\$	-	\$ 426.24	\$ 4.65	\$ 595.2
40000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12 \$	6 0.35	\$-	\$ 0.4	7 \$ 4,80	0.00 \$	6 14,000.00	\$	-	\$ 18,800.00	\$ 0.69	\$ 27,600.0
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12 \$	6 0.41	\$-	\$ 0.5	3 \$	- :	\$-	\$	-	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94 \$	3.31	\$-	\$ 7.2	5 \$	- :	\$-	\$	-	\$ -	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50 \$	4.00	\$-	\$ 52.5	D \$	- :	\$-	\$	-	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00 \$	45.50	\$-	\$ 655.5	D \$	- :	\$-	\$	-	\$-	\$ 750.50	\$-
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50 \$	6 10.60	\$-	\$ 19.1	D \$	- :	\$-	\$	-	\$ -	\$ 26.50	\$-
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	- \$; -	\$-	\$ 0.7	5 \$	- :	\$-	\$	-	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85 \$	3.06	\$ -	\$ 9.9	1 \$	- :	\$-	\$	-	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93 \$	6 0.97	\$ -	\$ 1.9	D \$	- :	\$-	\$	-	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	r L.F. \$	14.50 \$	8.25	\$ -	\$ 22.7	5 \$	- :	\$-	\$	-	\$-	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00 \$	5 145.00	\$ -	\$ 805.0	D \$	- !	\$-	\$	-	\$ -	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00 \$	5 119.00	\$-	\$ 599.0	D \$	- !	\$-	\$	-	\$-	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00 \$	3 29.00	\$-	\$ 250.0	D \$	- !	\$-	\$	-	\$ -	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45 \$	6 1.45	\$ -	\$ 2.9	D \$	- !	\$-	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00 \$	91.50	\$ -	\$ 197.5	D \$	- !	\$-	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55 \$	6 4.72	\$-	\$ 14.2	7 \$	- :	\$-	\$	-	\$ -	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49 \$	6 0.83	\$ -	\$ 2.3	2 \$	- !	\$-	\$	-	\$ -	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00 \$	5 111.00	\$ 10.30	\$ 391.3	D \$	- :	\$-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00 \$	37.50	\$ -	\$ 332.5	D \$	- :	\$-	\$	-	\$ -	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F. \$	3.85 \$	3.85	\$ -	\$ 7.7	D \$	- :	\$-	\$	-	\$ -	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea. \$	6,000.00 \$	6,000.00	\$ -	\$ 12,000.0	D \$	- :	\$-	\$	-	\$ -	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run \$	700.00 \$	5 700.00	\$ -	\$ 1,400.0	D \$	- :	\$-	\$	-	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea. \$	7,500.00 \$	6 7,500.00	\$ -	\$ 15,000.0	D \$	- :	\$-	\$	-	\$ -	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea. \$	50.00 \$	50.00	\$-	\$ 100.0	D \$	- :	\$-	\$	-	\$ -	\$ 100.00	\$-
otal						•		\$ 4.99	2.00 \$	5 14,234.24	\$	-	\$ 19,226.24		\$ 28,195.20





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FC
500	SELH	Eastside Campus	Southeast Learning Hub	2420 Garland St., 77087	2009	0	3	90,213	\$161,000	\$16,116,000	1.00
Sitework / L Sitework: N/A	andscape				· <u>······</u> ·		<u></u>	·····	<u></u>	<u></u>	<u></u>
Building De The Learning H		y building still under construction at the time of in	nspection. The building should be open and ready for	r use by the end of the year (2009).	·····	·····	·····	<u></u>	·····	·····	. <u></u>
Mechanical Building not yet		not allowed inside. Will be under full warranty.	· <u>····································</u>	·····	<u></u>	· <u>····</u> ·	<u></u>	<u></u>	<u></u>	<u></u>	
Electrical Building not yet	completed and were r	not allowed inside. Will be under full warranty.		······································	·	<u></u>	·····	·····	·····	·····	
Plumbing Building not yet	completed and were r	not allowed inside. Will be under full warranty.	·····						<u></u>		<u> </u>

No deficiencies noted.

Photograph	S	
Date:		Date: 20-May-09
Description:	Exterior elevation of New SE Learning HUB	Description: Exterior elevation of New SE Learning HUB
		<image/>









ollege (uilding		500 SELH	-													
uilding		SELH Southeast Learning Hub	1													
Qty.	Line Number	Description	Unit	Materi	al	Labor	Equipm	ent	Total	Extra Material	Extra Labor	ter el entre entre entre el	xtra ipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 10	4.00 \$	81.50	\$ 20.	00 \$	205.50	\$-	\$-	\$	-	\$-	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.41	\$ -	\$	3.76	\$-	\$-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,85	0.00 \$	595.00	\$ -	\$	2,445.00	\$ -	\$-	\$	-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$ -	\$	108.00	\$-	\$-	\$	-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2.	03 \$	9.03	\$-	\$-	\$	-	\$-	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.61	\$ -	\$	2.81	\$-	\$-	\$	-	\$-	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$ -	\$	2.00	\$-	\$-	\$	-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 4	3.50 \$	2.03	\$ -	\$	45.53	\$-	\$-	\$	-	\$-	\$ 51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 5	0.00 \$	21.50	\$ -	\$	71.50	\$-	\$-	\$	-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$	1.50 \$	1.83	\$ -	\$	3.33	\$-	\$-	\$	-	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$	0.12 \$	0.35	\$ -	\$	0.47	\$ -	\$ -	\$	-	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$	0.12 \$	0.41	\$ -	\$	0.53	\$ -	\$ -	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$	3.94 \$	3.31	\$ -	\$	7.25	\$-	\$-	\$	-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 4	8.50 \$	4.00	\$ -	\$	52.50	\$-	\$-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 61	0.00 \$	45.50	\$ -	\$	655.50	\$ -	\$ -	\$	-	\$-	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$	8.50 \$	10.60	\$ -	\$	19.10	\$-	\$-	\$	-	\$-	\$ 26.50	\$-
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$ -	\$	0.75	\$ -	\$ -	\$	-	\$-	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$	6.85 \$	3.06	\$ -	\$	9.91	\$ -	\$ -	\$	-	\$-	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$ -	\$	1.90	\$ -	\$-	\$	-	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$ 1	4.50 \$	8.25	\$ -	\$	22.75	\$-	\$-	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 66	0.00 \$	145.00	\$ -	\$	805.00	\$ -	\$-	\$	-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 48	\$0.00	119.00	\$ -	\$	599.00	\$-	\$-	\$	-	\$-	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22	1.00 \$	29.00	\$ -	\$	250.00	\$-	\$-	\$	-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$ -	\$	2.90	\$-	\$-	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 10	6.00 \$	91.50	\$ -	\$	197.50	\$-	\$-	\$	-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$ -	\$	14.27	\$-	\$-	\$	-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$ -	\$	2.32	\$-	\$-	\$	-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 27	0.00 \$	111.00	\$ 10.	30 \$	391.30	\$-	\$-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	5.00 \$	37.50	\$ -	\$	332.50	\$-	\$-	\$	-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$ -	\$	7.70	\$ -	\$-	\$	-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,00	0.00 \$	6,000.00	\$ -	\$	12,000.00	\$-	\$-	\$	-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 70	0.00 \$	700.00	\$ -	\$	1,400.00	\$ -	\$-	\$	-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,50	0.00 \$	7,500.00	\$ -	\$	15,000.00	\$-	\$-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 5	0.00 \$	50.00	\$ -	\$	100.00	\$ -	\$-	\$	-	\$-	\$ 100.00	\$-
otal										\$ -	\$-	\$	-	\$-		\$-





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
500	TEMP1	Eastside Campus	Temp. Classrms (2 Bldgs.)	6815 Rustic St., 77087		0	1	2,816	\$84,000	\$140,000	60.00
Sitework / L Sitework: Good	Andscape I. General Rating	5					· <u>·····</u>	·····	·····	·····	· <u>····</u>
Building De his is a pre-m		building subdivided into 4 rooms. It is in excellent co	ondition but currently is not being used.	· · · · · · · · · · · · · · · · · · ·	·····	·····	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · ·			
Viechanical Mechanical sys		ildings are outdated. The AHU's and compressors ne	eed to be replaced.		<u></u>	·····	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·			<u></u>
lectrical	hgear needs to be	updated.		······································		·····	·····	· · · · · · · · · · · · · · · · · · ·	·····	·····	· · · · · · · ·
Plumbing lo deficiencies	noted.	·····	·····	· <u>····································</u>			<u></u>	·····	· <u>·····</u>	· <u>····································</u>	<u></u>

Did not observe any Fire Alarm Strobes (visual alerts) or smoke detectors installed.

Photographs			
Date: 20-May-09		Date:	
	<image/>	<text></text>	









ollege C uilding		500 TEMP1	-									
uilding		Temp. Classrms (2 Bldgs)										
Qty.	Line Number	Description	Unit	Material	Labor	Equipment Tota	I Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00 \$	81.50	\$ 20.00 \$ 20)5.50 \$ -	\$ -	\$-	\$-	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35 \$	3.41	\$ - \$	3.76 \$ -	\$-	\$-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00 \$	595.00	\$ - \$ 2,44	45.00 \$ -	\$-	\$-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ - \$	108.00	\$ - \$ 10	.00 \$ -	\$ -	\$-	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61 \$	4.39	\$ 2.03 \$	9.03 \$ -	\$-	\$-	\$-	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 1/2" x 3/32"	S.F.	\$ 2.20 \$	0.61	\$ - \$	2.81 \$ -	\$ -	\$-	\$-	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36 \$	0.64	\$ - \$	2.00 \$ -	\$-	\$-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50 \$	2.03	\$ - \$ 4	45.53 \$ -	\$ -	\$ -	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00 \$	21.50	\$ - \$ 7	71.50 \$ -	\$ -	\$-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50 \$	1.83	\$ - \$	3.33 \$ -	\$ -	\$ -	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12 \$	0.35	\$ - \$	0.47 \$ -	\$ -	\$ -	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12 \$	0.41	\$ - \$	0.53 \$ -	\$ -	\$ -	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94 \$	3.31	\$ - \$	7.25 \$ -	\$ -	\$ -	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50 \$	4.00	\$ - \$ 5	52.50 \$ -	\$ -	\$-	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00 \$	45.50	\$ - \$ 65	55.50 \$ -	\$ -	\$-	\$-	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50 \$	10.60	\$ - \$ 1	19.10 \$ -	\$ -	\$ -	\$-	\$ 26.50	\$-
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ - \$	-	\$ - \$	0.75 \$ -	\$ -	\$ -	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85 \$	3.06	\$ - \$	9.91 \$ -	\$ -	\$-	\$-	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93 \$	0.97	\$ - \$	1.90 \$ -	\$ -	\$-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50 \$	8.25	\$ - \$ 2	22.75 \$ -	\$ -	\$ -	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00 \$	145.00	\$ - \$ 80	5.00 \$ -	\$ -	\$ -	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00 \$	119.00	\$ - \$ 59	99.00 \$ -	\$ -	\$-	\$-	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00 \$	29.00	\$ - \$ 25	50.00 \$ -	\$-	\$-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45 \$	1.45	\$ - \$	2.90 \$ -	\$ -	\$ -	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00 \$	91.50	\$ - \$ 19	97.50 \$ -	\$-	\$-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55 \$	4.72	\$ - \$ 1	14.27 \$ -	\$ -	\$-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49 \$	0.83	\$ - \$	2.32 \$ -	\$-	\$-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00 \$	111.00	\$ 10.30 \$ 39	91.30 \$ -	\$-	\$-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00 \$	37.50	\$ - \$ 33	32.50 \$ -	\$-	\$-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.85 \$	3.85	\$ - \$	7.70 \$ -	\$-	\$-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00 \$	6,000.00	\$ - \$ 12,00	00.00 \$ -	\$-	\$-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 700.00 \$	700.00	\$ - \$ 1,40	00.00 \$ -	\$ -	\$ -	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500.00 \$	7,500.00	\$ - \$ 15,00	00.00 \$ -	\$ -	\$ -	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 50.00 \$	50.00	\$ - \$ 10	00.00 \$ -	\$ -	\$ -	\$-	\$ 100.00	\$-
otal	-			<u>_</u>			\$-	\$ -	\$ -	\$-		\$ -





Facility Condition Executive Summary

500 TEMP2 Eastaide Campus Temp. Classmis (6 Bldgs.) 6815 Rustic St. 77087 0 1 2,859 \$84,000 \$140,000 Sitework/Landscape Sitework/Landscape 0 1 2,859 \$84,000 \$140,000 Sitework/Landscape 0 1 2,859 \$84,000 \$140,000 Sitework: The asphalt payement is deteriorating and needs to be replaced of patched. There are low lying areas that need to be graded to drain. General Rating 3.5	College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
Sitework: The asphalt pavement is deteriorating and needs to be replaced of patched. There are low lying areas that need to be graded to drain. General Rating 3.5 Building Description This is a pre-manufactured metal building subdivided into 6 rooms. It is in excellent condition. (6) Typical Temporary buildings and the functions thereof will be located in the new SE Learning HUB. Mechanical Systems for these buildings are outdated. The AHU's and compressors need to be replaced. Electrical	500	TEMP2	Eastside Campus	Temp. Classrms (6 Bldgs.)	6815 Rustic St., 77087		0	1		\$84,000	1	60.00
This is a pre-manufactured metal building subdivided into 6 rooms. It is in excellent condition. (6) Typical Temporary buildings and the functions thereof will be located in the new SE Learning HUB. Mechanical Wechanical systems for these buildings are outdated. The AHU's and compressors need to be replaced. Electrical			is deteriorating and needs to be replaced of patched.	There are low lying areas that need to be graded to	drain. General Rating 3.5	· <u>·····</u> ········	·····	· · · · · · · · · · · · · · · · · · ·			<u></u>	<u></u>
Aechanical systems for these buildings are outdated. The AHU's and compressors need to be replaced.	Building Do This is a pre-m	escription nanufactured meta	I building subdivided into 6 rooms. It is in excellent cc	ondition. (6) Typical Temporary buildings and the fund	ctions thereof will be located in the new SE Learning) HUB.	· · · · · · · · · · · · · · · · · · ·		· · · · · · · · · · · · · · · ·	<u></u>		<u></u>
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			a updated.	<u></u>		· <u>··············</u>	<u></u>	· <u>····</u> ······	<u></u>		<u></u>	<u></u>
ltµmbing.						· <u>················</u> ···················		·····	·····			. <u></u>

Did not observe any Fire Alarm Strobes (visual alerts) or smoke detectors installed.

Photographs		
Date: 20-May-09	Date: 20-May-09	
Description: (Typical) Temporary buildings (3-9) Non-Accessible	Description: No access to interior	n 6700
		Keller St.





Location Map





ollege C uilding		500 TEMP2	-									
uilding		Temp. Classrms (6 Bldgs)										
Qty.	Line Number	Description	Unit	Material	Labor	Equipment Total Ex Mate	tra erial	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00 \$	81.50) \$ 20.00 \$ 205.50 \$	-	\$-	\$-	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35 \$	3.41	I \$ - \$ 3.76 \$	-	\$-	\$-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00 \$	595.00) \$ - \$ 2,445.00 \$	-	\$-	\$-	\$ -	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ - \$	108.00) \$ - \$ 108.00 \$	-	\$-	\$-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61 \$	4.39	9 \$ 2.03 \$ 9.03 \$	-	\$-	\$-	\$ -	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20 \$	0.61	I \$ - \$ 2.81 \$	-	\$-	\$-	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36 \$	0.64	4 \$ - \$ 2.00 \$	-	\$-	\$-	\$ -	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50 \$	2.03	3 \$ - \$ 45.53 \$	-	\$-	\$-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00 \$	21.50) \$ - \$ 71.50 \$	-	\$-	\$-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50 \$	1.83	3 \$ - \$ 3.33 \$	-	\$-	\$-	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12 \$	0.35	5 \$ - \$ 0.47 \$	-	\$-	\$-	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12 \$	0.41	I \$ - \$ 0.53 \$	-	\$-	\$-	\$ -	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94 \$	3.31	\$ - \$ 7.25 \$	-	\$-	\$-	\$ -	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50 \$	4.00) \$ - \$ 52.50 \$	-	\$-	\$-	\$ -	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00 \$	45.50) \$ - \$ 655.50 \$	-	\$-	\$-	\$ -	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50 \$	10.60) \$ - \$ 19.10 \$	-	\$-	\$-	\$ -	\$ 26.50	\$-
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ - \$	-	\$ - \$ 0.75 \$	-	\$-	\$-	\$ -	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85 \$	3.06	6 \$ - \$ 9.91 \$	-	\$-	\$-	\$ -	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93 \$	0.97	7 \$ - \$ 1.90 \$	-	\$-	\$-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50 \$	8.25	5 \$ - \$ 22.75 \$	-	\$-	\$ -	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00 \$	145.00) \$ - \$ 805.00 \$	-	\$-	\$-	\$-	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00 \$	119.00) \$ - \$ 599.00 \$	-	\$-	\$-	\$ -	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00 \$	29.00) \$ - \$ 250.00 \$	-	\$-	\$-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45 \$	1.45	5 \$ - \$ 2.90 \$	-	\$-	\$-	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00 \$	91.50) \$ - \$ 197.50 \$	-	\$-	\$-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55 \$	4.72	2 \$ - \$ 14.27 \$	-	\$-	\$-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49 \$	0.83	3 \$ - \$ 2.32 \$	-	\$-	\$-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00 \$	111.00) \$ 10.30 \$ 391.30 \$	-	\$-	\$-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00 \$	37.50) \$ - \$ 332.50 \$	-	\$-	\$-	\$ -	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.85 \$	3.85	5 \$ - \$ 7.70 \$	-	\$-	\$-	\$ -	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00 \$	6,000.00) \$ - \$ 12,000.00 \$	-	\$-	\$-	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00 \$	700.00) \$ - \$ 1,400.00 \$	-	\$-	\$-	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500.00 \$	7,500.00) \$ - \$ 15,000.00 \$	-	\$-	\$-	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00 \$	50.00) \$ - \$ 100.00 \$	-	\$-	\$-	\$-	\$ 100.00	\$-
otal						\$	-	\$ -	\$-	\$-		\$-





Southwest College

Academic Center Sienna Plan Applied Technology C Greenbriar A Gulfton C Alief Campus (Hayes F Scarcella Science and Technology C Stafford Campus (7 Build Southwest Stafford Learning West Loop C

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Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	ACEU	Alief Continuing Education Center	Alief	13803 Bissonet St, 77072	?	0	1	43,000	\$35,000	\$9,057,000	0.39%

Sitework / Landscape Need to re-mulch planting beds. Need to provide screening of adjacent properties. Need to screen existing trash enclosure. Wood fence adjacent to property in need of repair and screening. Parking lot needs shade trees. Existing bike racks are not College standard. Need to extend tile entry out into drop off area to create a formal entry, Need to move smokers station away from main entry. Refer to irrigation field report for assessment.

Sitework: Minor cracks can be seen throughout the parking lot pavement. Minor curb breaks throughout. Inlets need to have inverts installed and some need the debris removed. Overall rating: 4

Building Description The Alief Continuing Education Center building was constructed within the last 6 years. Overall, The Alief Continuing Education Center Building is in good condition. No deficiencies noted.

Mechanical No deficiencies noted.

Electrical No deficiencies noted.

Plumbing. No deficiencies noted.

Life Safety + ADA - Hazmat No deficiencies noted.

Date: 20-May-09 Description: Exterior at entry	Date: 20-May-09 Description: Interior at lobby/main entrance	ć
		Rusting Leaves D Rusting Leav





Location Map Penn Rd Renn Re ACEU



HCC Facilities Assessment Cost Estimates by Deficiencies - Architectural Items

College Co Building C Building N	ode	600 ACEU Alief										
Qty.	Line Number	Description	Unit	Material	Labor Equipmen	t Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00	\$ 81.50 \$ 20.00	\$ 205.50	\$-	\$-	\$-	\$-	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35	\$ 3.41 \$ -	\$ 3.76	\$-	\$-	\$-	\$-	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00	\$ 595.00 \$ -	\$ 2,445.00	\$ -	\$-	\$-	\$	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	-	\$ 108.00 \$ -	\$ 108.00	\$-	\$-	\$-	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61	\$ 4.39 \$ 2.03	\$ 9.03	\$-	\$-	\$-	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F. \$	2.20	\$ 0.61 \$ -	\$ 2.81	\$ -	\$-	\$ -	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36	\$ 0.64 \$ -	\$ 2.00	\$-	\$-	\$ -	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50	\$ 2.03 \$ -	\$ 45.53	\$-	\$-	\$ -	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00	\$ 21.50 \$ -	\$ 71.50	\$-	\$-	\$ -	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50	\$ 1.83 \$ -	\$ 3.33	\$-	\$-	\$-	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12	\$ 0.35 \$ -	\$ 0.47	\$-	\$-	\$ -	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12	\$ 0.41 \$ -	\$ 0.53	\$-	\$-	\$ -	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94	\$ 3.31 \$ -	\$ 7.25	\$-	\$-	\$-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50	\$ 4.00 \$ -	\$ 52.50	\$-	\$-	\$-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00	\$ 45.50 \$ -	\$ 655.50	\$-	\$-	\$-	\$-	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50	\$ 10.60 \$ -	\$ 19.10	\$-	\$-	\$ -	\$-	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	-	\$ - \$ -	\$ 0.75	\$-	\$-	\$ -	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85	\$ 3.06 \$ -	\$ 9.91	\$-	\$-	\$-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93	\$ 0.97 \$ -	\$ 1.90	\$-	\$-	\$-	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F. \$	14.50	\$ 8.25 \$ -	\$ 22.75	\$-	\$-	\$-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00	\$ 145.00 \$ -	\$ 805.00	\$-	\$-	\$ -	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00	\$ 119.00 \$ -	\$ 599.00	\$ -	\$-	\$ -	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00	\$ 29.00 \$ -	\$ 250.00	\$-	\$-	\$ -	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45	\$ 1.45 \$ -	\$ 2.90	\$-	\$-	\$ -	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00	\$ 91.50 \$ -	\$ 197.50	\$-	\$-	\$-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55	\$ 4.72 \$ -	\$ 14.27	\$-	\$-	\$-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49	\$ 0.83 \$ -	\$ 2.32	\$-	\$-	\$ -	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00	\$ 111.00 \$ 10.30	\$ 391.30	\$-	\$-	\$-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00	\$ 37.50 \$ -	\$ 332.50	\$-	\$-	\$-	\$-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F. \$	3.85	\$ 3.85 \$ -	\$ 7.70	\$-	\$-	\$ -	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea. \$	6,000.00	\$ 6,000.00 \$ -	\$ 12,000.00	\$-	\$-	\$ -	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run \$	700.00	\$ 700.00 \$ -	\$ 1,400.00	\$-	\$-	\$-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea. \$	7,500.00	\$ 7,500.00 \$ -	\$ 15,000.00	\$-	\$-	\$-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea. \$	50.00	\$ 50.00 \$ -	\$ 100.00	\$-	\$-	\$ -	\$-	\$ 100.00	\$
Total							\$ -	\$-	\$-	\$-		\$-





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FC
600	MOCC	Missouri City Campus	Academic Center Sienna Plantation	5855 Sienna Springs Way, 77459	2008	0	2	48,456	\$35,000	\$9,057,000	0.39
leed to replace granite area. N		sting meters on north west side. Refer to irrigation fie		a. Need to monitor all parking lot groundcover and sh	rubs, refer to exa	act locations on la	indscape field rep	port. Need to w	eed and mulch all plantin	g beds. Need to weed	l decomp
uilding De	scription	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·		·····	·····		····	· · · · · · · · · · · · · · · · · · ·	·····	· · · · ·
e Academic	Center Sienna Pla	antation building was constructed in 2008. The buildin	ng is currently under the one (1) year construction wa	arranty and any problems with the building will be cove	ered under the wa	arranty.					
											
echanical w building st		No MEP deficiencies noted.	<u></u>	· <u>····································</u>	<u></u>	<u>·····</u>	<u></u>	<u></u>	<u></u>	<u></u>	<u></u>
		·····		· · · · · · · · · · · · · · · · · · ·				•••••••••••••••••••••••••••••••••••••••	·····	·.·.·	·
	ill under warranty.	No deficiencies noted.	· <u>··································</u> ·····			<u></u>	·····	·	·····	· <u>·····</u> ······························	·
ew building st	-	No deficiencies noted.	······································	······································	······	·····	·····	·····	·····	·	· · · · · · · · · · · · · · · · · · ·
lumbing	· · · · · · · · · · · · · · · · · · · ·	No deficiencies noted.	······································		······	<u></u>	·····	·····	·····	·	· · · · · ·
ew building st	· · · · · · · · · · · · · · · · · · · ·		·····			<u></u>	<u></u>	<u></u>	<u></u>	·	
ew building st	· · · · · · · · · · · · · · · · · · · ·	No deficiencies noted.				·····	·····	· · · · · · · · · · · · · · · · · · ·	<u></u>	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·

Date:	25-Jun-09	Date:	25-Jun-09	
Description:	Exterior of Building Looking Northwest	Description:		





Location Map





College (Building		600 MOCC	-										
Building		Academic Center Sienna Plantation											
Qty.	Line Number	Description	Unit	Material	Labor	Equipment Tota		Extra aterial	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00 \$	81.50	\$ 20.00 \$ 20	5.50 \$	-	\$-	\$-	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35 \$	3.41	\$ - \$	3.76 \$	-	\$-	\$-	\$ -	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00 \$	595.00	\$ - \$ 2,44	5.00 \$	-	\$-	\$-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ - \$	108.00	\$ - \$ 10	8.00 \$	-	\$-	\$-	\$ -	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61 \$	4.39	\$ 2.03 \$	9.03 \$	-	\$-	\$-	\$ -	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20 \$	0.61	\$ - \$	2.81 \$	-	\$-	\$-	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36 \$	0.64	\$ - \$	2.00 \$	-	\$-	\$-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50 \$	2.03	\$ - \$ 4	5.53 \$	-	\$-	\$-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00 \$	21.50	\$ - \$ 7	1.50 \$	-	\$-	\$-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50 \$	1.83	\$ - \$	3.33 \$	-	\$-	\$-	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12 \$	0.35	\$ - \$	0.47 \$	-	\$-	\$ -	\$ -	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12 \$	0.41	\$ - \$	0.53 \$	-	\$-	\$-	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94 \$	3.31	\$ - \$	7.25 \$	-	\$-	\$ -	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50 \$	4.00	\$ - \$ 5	2.50 \$	-	\$-	\$-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00 \$	45.50	\$ - \$ 65	5.50 \$	-	\$-	\$-	\$-	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50 \$	10.60	\$ - \$ 1	9.10 \$	-	\$-	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ - \$	-	\$ - \$	0.75 \$	-	\$-	\$-	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85 \$	3.06	\$ - \$	9.91 \$	-	\$-	\$-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93 \$	0.97	\$ - \$	1.90 \$	-	\$-	\$ -	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50 \$	8.25	\$ - \$ 2	2.75 \$	-	\$-	\$-	\$-	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00 \$	145.00	\$ - \$ 80	5.00 \$	-	\$-	\$-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00 \$	119.00	\$ - \$ 59	9.00 \$	-	\$-	\$-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00 \$	29.00	\$ - \$ 25	0.00 \$	-	\$-	\$-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45 \$	5 1.45	\$ - \$	2.90 \$	-	\$-	\$-	\$ -	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00 \$	91.50	\$ - \$ 19	7.50 \$	-	\$-	\$-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55 \$	4.72	\$ - \$ 1	4.27 \$	-	\$-	\$-	\$ -	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49 \$	0.83	\$ - \$	2.32 \$	-	\$-	\$-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00 \$	5 111.00	\$ 10.30 \$ 39	1.30 \$	-	\$-	\$-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00 \$	37.50	\$ - \$ 33	2.50 \$	-	\$-	\$ -	\$ -	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.85 \$	3.85	\$ - \$	7.70 \$	-	\$-	\$ -	\$-	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00 \$	6,000.00	\$ - \$ 12,00	0.00 \$	-	\$-	\$ -	\$-	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run	\$ 700.00 \$	700.00	\$ - \$ 1,40	0.00 \$	-	\$-	\$ -	\$-	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00 \$	7,500.00	\$ - \$ 15,00	0.00 \$	-	\$-	\$ -	\$ -	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00 \$	50.00	\$ - \$ 10	0.00 \$	-	\$ -	\$-	\$-	\$ 100.00	\$ -
Fotal							\$	-	\$-	\$-	\$-		\$-





Facility Condition Executive Summary

ŀ	College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Flo
	600	ATC	Applied Technology Center	Applied Technology Center	4010 Bluebonnet, 77477	?	0	1

Sitework / Landscape Need to provide parking lot screening on vacant lot side of building. Replace dead shrubs along street side with matched specimens. Need to install building side, with possibility of formal planting. Need to monitor health of existing Liv Sitework: Several birdbaths can be found throughout the parking lot. The curb and sidewalk are broken in numerous places. Overall Rating: 4

Building Description The Applied Technology Center is scheduled for relocation by the end of December 2009 by HCC. The Applied Tech. Ctr. will be moved to the new Learning Hub Building. Building B is no longer owned by HCC and has a sign stating: out in December 2009.

 Mechanical

 Understand lease will be terminated in 10 months. No deficiencies noted.

Électrical
No egress lights. No fire alarm system.

Plumbing Restrooms need to be ADA compliant.

Life Safety - ADA - Hazmat Both Buildings A & B contain an excessive amount of asbestos materials and insulation which is mainly why HCC is calling for the functions of these spaces to be relocated to the new Learning HUB.

Date: 20-May-09 Description: South- Building B	Date: 20-May-09 Description: South-Building A	
		40 Bluebonne
		3044

OwnedLeased



		Louoou	HOUSTON COMMUNITY CO						
loors	Gross Area	Repair Costs	Replacement Costs	FCI					
1	18,088	\$519,000	\$4,243,000	12.23%					
ive Oaks.		· · · · · · · · · · · · · · · · · · ·	·····	<u></u>					
ive Oaks.									
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		lthough building A is still	occupied by HCC, their I	ease runs					
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ollege C Juilding		600 ATC	-														
Building		Applied Technology Center															
Qty.	Line Number	Description	Unit	Material	Ľ	abor	Equipmen	t T	Fotal	Extra Material	Ext Lat		Extra Equipme	nt	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$	81.50	\$ 20.00) \$	205.50	\$-	\$	-	\$-	. :	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$	3.41	\$-	\$	3.76	\$-	\$	-	\$ -	. :	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$	595.00	\$-	\$	2,445.00	\$-	\$	-	\$-	. :	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$-	\$	108.00	\$-	\$	108.00	\$-	\$	-	\$		\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$	4.39	\$ 2.03	3 \$	9.03	\$-	\$	-	\$. :	\$-	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$	0.61	\$-	\$	2.81	\$-	\$	-	\$. :	\$-	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$	0.64	\$-	\$	2.00	\$-	\$	-	\$ -	. :	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$	2.03	\$-	\$	45.53	\$-	\$	-	\$		\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$	21.50	\$-	\$	71.50	\$-	\$	-	\$ -		\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$	1.83	\$-	\$	3.33	\$-	\$	-	\$ -		\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$	0.35	\$-	\$	0.47	\$-	\$	-	\$-	. :	\$-	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$	0.41	\$-	\$	0.53	\$-	\$	-	\$. 9	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$	3.31	\$-	\$	7.25	\$-	\$	-	\$. :	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$	4.00	\$-	\$	52.50	\$-	\$	-	\$. :	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$	45.50	\$-	\$	655.50	\$-	\$	-	\$ -	. :	\$-	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$	10.60	\$-	\$	19.10	\$-	\$	-	\$ -	. :	\$-	\$ 26.50	\$-
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$-	\$	-	\$-	\$	0.75	\$-	\$	-	\$ -	. 9	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$	3.06	\$-	\$	9.91	\$ -	\$	-	\$. :	\$-	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$	0.97	\$ -	\$	1.90	\$ -	\$	-	\$ -	. :	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$ 14.50	\$	8.25	\$-	\$	22.75	\$-	\$	-	\$. 9	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$	145.00	\$-	\$	805.00	\$-	\$	-	\$ -	. 9	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$	119.00	\$-	\$	599.00	\$-	\$	-	\$. :	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$	29.00	\$-	\$	250.00	\$-	\$	-	\$. 9	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$	1.45	\$-	\$	2.90	\$-	\$	-	\$. :	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$	91.50	\$-	\$	197.50	\$-	\$	-	\$. :	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$	4.72	\$-	\$	14.27	\$-	\$	-	\$. :	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$	0.83	\$-	\$	2.32	\$-	\$	-	\$. :	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$	111.00	\$ 10.30) \$	391.30	\$-	\$	-	\$ -		\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$	37.50	\$-	\$	332.50	\$-	\$	-	\$ -	. :	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$	3.85	\$-	\$	7.70	\$-	\$	-	\$ -	. 5	\$ -	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$	6,000.00	\$-	\$ 1	2,000.00	\$-	\$	-	\$ -		\$ -	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 700.00	\$	700.00	\$-	\$	1,400.00	\$-	\$	-	\$ -	. :	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$	7,500.00	\$-	\$ 1	5,000.00	\$-	\$	-	\$ -	. 5	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 50.00	\$	50.00	\$-	\$	100.00	\$ -	\$	-	\$ -		\$-	\$ 100.00	\$-
otal			-							\$ -	\$	-	\$ -	. !	\$-		\$-





Facility Condition Executive Summary

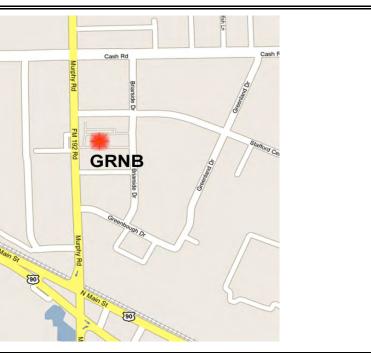
Building Description	eed to have the asphalt resealed. Also, the parking lot ne	Greenbriar Annex eds to be restriped. Several locations on the campus s	13645 Murphy Rd., 77477	1986 	0 er manhole need	1 s its ring and cov	17,100 er replaced. Ove	\$28,000	\$2,723,000	1.03%
Sitework: The parking lots no	eed to have the asphalt resealed. Also, the parking lot ne	eds to be restriped. Several locations on the campus s	showed broken curb and depressions in the pavement	t. The storm sew	er manhole need	s its ring and cov	er replaced. Ove	erall rating: 3	<u></u>	<u></u>
		· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·							
		ne process of relocating all functions of this building to	the new learning HUB. The Department of Art and M	lusic currently oc	cupies this space	and will be move	ed before Decem	nber 2009.		<u></u>
Mechanical The majority of all MEP equi	pment is old (1983) and should be replaced before the e	ntire building is occupied.		<u></u>	· <u>·····</u>	·····	· <u>·····</u>		·····	<u> </u>
Électrical Electrical switchgear should	be upgraded.			·····	· · · · · · · · · · · · · · · · · · ·	· · · · · · · · · · · · · · · · · · ·				<u></u>
Plumbing Restrooms meet ADA comp								<u></u>	<u></u>	

Life Safety - ADA - Hazmat Some Life Safety fixtures should be replaced.

Photographs			
Date: 20-May-09	Date:		
Description: Greenbriar Annex @ NE corner. (leased space)	Description:	Greenbriar Annex @ NE corner. Front (leased space)	
			4 Prom
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Owned Leased







ollege (uilding		600 GRNB														
uilding		Greenbriar Annex														
Qty.	Line Number	Description	Unit	Material	La	bor	Equipmer	nt 1	otal	Extra Material	Extra Labor	Ext Equip	e en en en en en en en	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00	\$	81.50	\$ 20.0	0 \$	205.50	\$-	\$-	\$	-	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35	\$	3.41	\$-	\$	3.76	\$-	\$-	\$	-	\$-	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00	\$	595.00	\$-	\$	2,445.00	\$-	\$-	\$	-	\$-	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$	-	\$	108.00	\$-	\$	108.00	\$-	\$-	\$	-	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61	\$	4.39	\$ 2.0	3 \$	9.03	\$-	\$ -	\$	-	\$ -	\$ 11.95	\$ -
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 1/2" x 3/32"	S.F. \$	2.20	\$	0.61	\$-	\$	2.81	\$-	\$ -	\$	-	\$ -	\$ 3.37	\$ -
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36	\$	0.64	\$-	\$	2.00	\$-	\$ -	\$	-	\$ -	\$ 2.56	\$ -
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50	\$	2.03	\$-	\$	45.53	\$-	\$ -	\$	-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00	\$	21.50	\$-	\$	71.50	\$-	\$ -	\$	-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50	\$	1.83	\$-	\$	3.33	\$-	\$-	\$	-	\$ -	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12	\$	0.35	\$-	\$	0.47	\$ -	\$ -	\$	-	\$ -	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12	\$	0.41	\$-	\$	0.53	\$ -	\$ -	\$	-	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94	\$	3.31	\$-	\$	7.25	\$ -	\$ -	\$	-	\$ -	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50	\$	4.00	\$-	\$	52.50	\$-	\$-	\$	-	\$ -	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00	\$	45.50	\$-	\$	655.50	\$-	\$-	\$	-	\$ -	\$ 750.50	\$-
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste,	S.F. \$	8.50	\$	10.60	\$-	\$	19.10	\$-	\$ -	\$	-	\$ -	\$ 26.50	\$ -
0	019313031050	excludes scaffolding, grout and reinforcing Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$	-	\$	-	\$ -	\$	0.75	\$ -	\$ -	\$	-	\$ -	\$ 0.90	\$ -
0		Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85	\$	3.06	\$ -	\$	9.91	•	\$ -	\$	-	\$ -	\$ 12.29	-
0		Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93		0.97		\$	1.90		\$ -	\$	-	\$ -	\$ 2.53	•
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F. \$			8.25		\$	22.75		\$ -	\$	-	\$ -	\$ 29.20	\$ -
0		Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00		145.00		¢	805.00		\$ -	¢		\$ -	\$ 953.00	•
0		Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening				145.00		ф Ф	599.00		\$ - \$ -	\$ \$		\$ - \$ -	\$ 953.00 \$ 751.00	•
0		Auditorium chair, veneer back, padded seat	Opng. \$ Ea. \$	221.00		29.00		۹ ج	250.00		\$ -	\$	_	\$ - \$ -	\$ 731.00 \$ 291.00	
0		Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$			1.45		Ψ	2.90		\$ -	\$	_	\$ -	\$ 4.00	
0		Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$			91.50		\$	197.50		\$ -	\$		\$ -	\$ 280.00	
0		Asphalt Shingles, #30 felt underlayment	Sq. \$			4.72		Ψ \$	14.27		\$ -	\$		\$ -	\$ 18.95	
0		Asphalt Shingles, ridge shingles	L.F. \$	1.49		0.83		Ψ \$	2.32	-	\$ -	\$		\$ -	\$ 3.12	
0		Door frames, steel channels with anchors and bar stops, 6" channel@ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00		111.00		Ψ 0 \$	391.30		\$ -	\$		\$ -	\$ 514.35	
0		Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00		37.50		\$	332.50		\$ -	\$		\$ -	\$ 387.00	
0	-	Wood Strip Flooring	L.F. \$			3.85		\$	7.70		\$ -	\$		\$ -	\$ 7.71	
0		ADA Toilet Renovation	Ea. \$	6,000.00		000.00		+	2,000.00		\$ -	\$		\$ -	\$ 12,000.00	
0		ADA Handrail Renovation	Run \$			700.00			1,400.00		\$ -	\$	-	\$ -	\$ 1,400.00	
0	-	Wheelchair Lift	Ea. \$			500.00		-	5,000.00		\$ -	\$	-	\$-	\$ 15,000.00	
0		Elevator Signage	Ea. \$	50.00		50.00		\$	100.00		\$ -	\$		\$-	\$ 100.00	
otal	L		<u> </u>		<u> </u>		·	<u> </u>		* \$-	\$ -	\$		\$ -		\$ -





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	GULF	Gulfton Center Campus	Gulfton Center	5407 Gulfton Dr, 77081	1973	0	2	35,500	\$92,000	\$6,959,000	1.32%

Sitework / Landscape Fill in shrubs at front of building, along Gulfton. Wood fence along perimeter needs replacement. Smoking area needs to meet HCC's College standards of site furnishings and possible shade structure. Existing bike rack is not College standard. Fill in building shrub row where applicable. Need to straighten three leaning trees, refer to landscape field report for location. No on-site irrigation. Sitework: Entrances off of Gulfton are starting to show excessive wear. The storm inlets are almost completely clogged with debris. Overall Rating: 4

Building Description The Gulfton Center Building was constructed in 1973 for Southwestern Bell Telephone and acquired by HCCS in 1990. The Gulfton Center building has undergone some renovation within the last 10 years. Recommendations are as follows: Remove/replace drop ceiling tiles and grid in all classrooms, offices and corridors. Paint all walls in classrooms and offices. Update VCT Floor tiles in rooms, 105, 113, 115, 118. Redesign Men's and Women's restrooms to be compliant with TAS/ADA codes. Overall, The Gulfton Center Building is in good condition.

Mechanical No deficiencies noted.

Electrical No deficiencies noted.

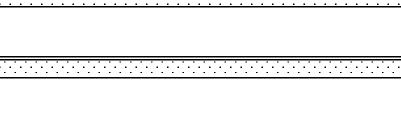
Plumbing. No deficiencies noted.

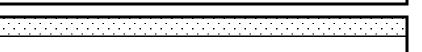
Life Safety + ADA - Hazmat Redesign Men's and Women's restrooms to be compliant with TAS/ADA codes. See ADA Code of Standards sections 4.16 through 4.19

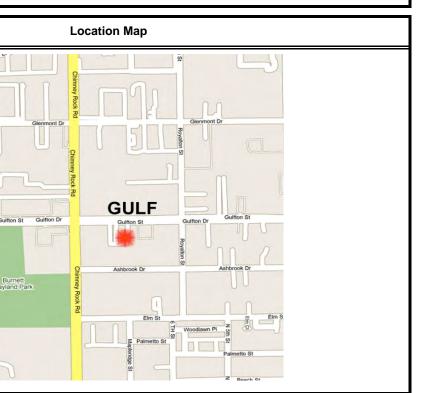
Photographs			
Date: 20-May-09	Date:		
Description: Northeast corner of Gulfton Center Building	Description:	Interior at central corridor	
			Giermont Dr. Alter Bayi













College (Building		600 GULF]														
Building		GULF Gulfton Center	1														
Qty.	Line Number	Description	Unit	Mater	rial	Labor	Equipm	ent	Total	Ext Mate		Extra Labor	Extr Equipr		Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 10	04.00 \$	81.50	\$ 20.	00 \$	205.50	D \$	-	\$-	\$	-	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.41	\$ -	\$	3.76	6 \$	-	\$-	\$	-	\$-	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,8	\$50.00	595.00	\$ -	\$	2,445.00	D \$	-	\$-	\$	-	\$ -	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$ -	\$	108.00	D \$	-	\$-	\$	-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2.	03 \$	9.03	3 \$	-	\$-	\$	-	\$-	\$ 11.95	\$-
2400	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.61	\$ -	\$	2.81	1 \$ 5,2	280.00	\$ 1,464.00	\$	-	\$ 6,744.00	\$ 3.37	\$ 8,088.00
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$ -	\$	2.00	D \$	-	\$-	\$	-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. 3	\$	43.50 \$	2.03	\$ -	\$	45.53	3 \$	-	\$-	\$	-	\$-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$!	50.00 \$	21.50	\$ -	\$	71.50	D \$	-	\$-	\$	-	\$-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. 3	\$	1.50 \$	1.83	\$ -	\$	3.33	3 \$	-	\$-	\$	-	\$ -	\$ 4.65	\$ -
25000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. 3	\$	0.12 \$	0.35	\$ -	\$	0.47	7 \$ 3,0	000.00	\$ 8,750.00	\$	-	\$ 11,750.00	\$ 0.69	\$ 17,250.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. 3	\$	0.12 \$	0.41	\$ -	\$	0.53	3 \$	-	\$-	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. 3	\$	3.94 \$	3.31	\$ -	\$	7.25	5 \$	-	\$-	\$	-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. 3	\$ 4	48.50 \$	4.00	\$ -	\$	52.50	D \$	-	\$-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 6'	\$10.00	45.50	\$ -	\$	655.50	D \$	-	\$-	\$	-	\$ -	\$ 750.50	\$ -
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. 3	\$	8.50 \$	10.60	\$	\$	19.10	D \$	-	\$-	\$	-	\$-	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$ -	\$	0.75	5 \$	-	\$-	\$	-	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. 3	\$	6.85 \$	3.06	\$ -	\$	9.91	1 \$	-	\$-	\$	-	\$ -	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$-	\$	1.90	D \$	-	\$-	\$	-	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$	14.50 \$	8.25	\$	\$	22.75	5 \$	-	\$-	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 60	60.00 \$	145.00	\$ -	\$	805.00	D \$	-	\$-	\$	-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 48	80.00 \$	119.00	\$ -	\$	599.00	D \$	-	\$-	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22	21.00 \$	29.00	\$ -	\$	250.00	D \$	-	\$-	\$	-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$ -	\$	2.90	D \$	-	\$-	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 10	06.00 \$	91.50	\$ -	\$	197.50	D \$	-	\$-	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$ -	\$	14.27	7 \$	-	\$-	\$	-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$ -	\$	2.32	2 \$	-	\$-	\$	-	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 2	70.00 \$	111.00	\$ 10.	30 \$	391.30	D \$	-	\$-	\$	-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	95.00 \$	37.50	\$ -	\$	332.50	D \$	-	\$-	\$	-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$ -	\$	7.70	D \$	-	\$-	\$	-	\$-	\$ 7.71	\$ -
2	-	ADA Toilet Renovation	Ea.	\$ 6,00	000.00 \$	6,000.00	\$ -	\$	12,000.00	0 \$ 12,0	000.00	\$ 12,000.00	\$	-	\$ 24,000.00	\$ 12,000.00	\$ 24,000.00
0	-	ADA Handrail Renovation	Run	\$ 70	00.00 \$	700.00	\$ -	\$	1,400.00	D \$	-	\$-	\$	-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,50	600.00 \$	7,500.00	\$ -	\$	15,000.00	D \$	-	\$-	\$	-	\$-	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$!	50.00 \$	50.00	\$	\$	100.00	D \$	-	\$-	\$	-	\$-	\$ 100.00	\$-
[otal					•					\$ 8,2	280.00	\$ 10,214.00	\$	-	\$ 18,494.00		\$ 49,338.00





Facility Condition Executive Summary

600 ALIF Alief Campus Alief Campus (Hayes Rd.) 2811 Hayes Rd. ? 0 4 385,000 \$17,118,000 \$61,610,000 27. Sitework / Landscape Sitework / Landscape	College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
Sitework: The parking lot's asphalt paving is showing signs of rutting and settling. Several birdbaths were noticed and need to be repaired. Overall Rating: 4 Building Description The Allel Campus Hayes Road building is in an existing four-story office building. The exterior of the building is in good condition. The first floor is the only floor currently occupied with recently updated interiors. Plans are being made to rebuild and occupy the other floors. Wall marker board needs repairing in Recruiting room A114. Mechanical The majority of all MEP equipment is old (1983) and should be replaced before the entire building is occupied. Electrical Electrical switchgear should be upgraded. Plumbing.	600	ALIF	Alief Campus	Alief Campus (Hayes Rd.)	2811 Hayes Rd.	?	0	4	385,000	\$17,118,000	\$61,610,000	27.78%
The Alief Campus Hayes Road building is in an existing four-story office building. The exterior of the building is in good condition. The first floor is the only floor currently occupied with recently updated interiors. Plans are being made to rebuild and occupy the other floors. Wall marker board needs repairing in Recruiting room A114. Mechanical The majority of all MEP equipment is old (1983) and should be replaced before the entire building is occupied. Electrical Electrical switchgear should be upgraded. Plumbing			nalt paving is showing signs of rutting and settling. Seve	eral birdbaths were noticed and need to be repaired.	Overall Rating: 4	<u></u>		<u></u>	<u></u>		·····	
The majority of all MEP equipment is old (1983) and should be replaced before the entire building is occupied. Electrical Electrical switchgear should be upgraded. Plumbing	The Alief Cam	pus Hayes Road	building is in an existing four-story office building. The	exterior of the building is in good condition. The first	t floor is the only floor currently occupied with recently	updated interiors	s. Plans are beir	ng made to rebuild	I and occupy the	e other floors. Wall mark	er board needs repairin	ng in
Electrical switchgear should be upgraded. Plumbing			ent is old (1983) and should be replaced before the en	tire building is occupied.	······································	·····	·····	·····	<u></u>	·····		<u></u>
				······································		· <u>·····</u> ·	<u></u>	·.·	·	·····	•••••••••••••••••••••••••••••••••••••••	
				<u></u>	<u></u>	· <u>·····</u> ········	<u></u>	· <u>·····</u> ······	·····	<u></u>	<u></u>	<u></u>

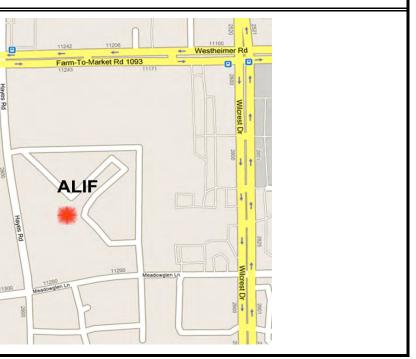
Life Safety - ADA - Hazmat Some Life Safety fixtures should be replaced.

Photographs				
Date:	20-May-09	Date:	22-Jul-09	
Description:		Description:		ĵ
				11300 Teimer Rd 11301





Location Map





ollege (luilding		600 ALIF	-														
uilding		ALIF Alief Campus (Hayes Rd.)	1														
Qty.	Line Number	Description	Unit	Material		Labor	Equipm	ent	Total	Extra Materi	11 11 11 11 11 11 11 11 11 11 11 11 11	Extra Labor	Exi Equip		Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.0	00 \$	81.50	\$ 20	.00 \$	205.50	\$	- \$	-	\$	-	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.3	85 \$	3.41	\$	- \$	3.76	\$	- \$	-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.0	00 \$	595.00	\$	- \$	2,445.00	\$	- \$	-	\$	-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$-	\$	108.00	\$	- \$	108.00	\$	- \$	-	\$	-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.0	61 \$	4.39	\$ 2	.03 \$	9.03	\$	- \$	-	\$	-	\$ -	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.2	20 \$	0.61	\$	- \$	2.81	\$	- \$	-	\$	-	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.3	36 \$	0.64	\$	- \$	2.00	\$	- \$	-	\$	-	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.	50 \$	2.03	\$	- \$	45.53	\$	- \$	-	\$	-	\$-	\$ 51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.0	00 \$	21.50	\$	- \$	71.50	\$	- \$	-	\$	-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.	50 \$	1.83	\$	- \$	3.33	\$	- \$	-	\$	-	\$-	\$ 4.65	\$-
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.	2 \$	0.35	\$	- \$	0.47	\$	- \$	-	\$	-	\$-	\$ 0.69	\$-
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.	2 \$	0.41	\$	- \$	0.53	\$	- \$	-	\$	-	\$-	\$ 0.79	\$-
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.9	94 \$	3.31	\$	- \$	7.25	\$	- \$	-	\$	-	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.	50 \$	4.00	\$	- \$	52.50	\$	- \$	-	\$	-	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.0	00 \$	45.50	\$	- \$	655.50	\$	- \$	-	\$	-	\$-	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.	50 \$	10.60	\$	- \$	19.10	\$	- \$	-	\$	-	\$-	\$ 26.50	\$-
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ -	\$	-	\$	- \$	0.75	\$	- \$	-	\$	-	\$ -	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.8	35 \$	3.06	\$	- \$	9.91	\$	- \$	-	\$	-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.9	93 \$	0.97	\$	- \$	1.90	\$	- \$	-	\$	-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$ 14.8	50 \$	8.25	\$	- \$	22.75	\$	- \$	-	\$	-	\$-	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.0	00 \$	145.00	\$	- \$	805.00	\$	- \$	-	\$	-	\$-	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.0	00 \$	119.00	\$	- \$	599.00	\$	- \$	-	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.0	00 \$	29.00	\$	- \$	250.00	\$	- \$	-	\$	-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.4	45 \$	1.45	\$	- \$	2.90	\$	- \$	-	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.0	00 \$	91.50	\$	- \$	197.50	\$	- \$	-	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.5	55 \$	4.72	\$	- \$	14.27	\$	- \$	-	\$	-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.4	19 \$	0.83	\$	- \$	2.32	\$	- \$	-	\$	-	\$-	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.	00 \$	111.00	\$ 10	.30 \$	391.30	\$	- \$	-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.	00 \$	37.50	\$	- \$	332.50	\$	- \$	-	\$	-	\$-	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.8	35 \$	3.85	\$	- \$	7.70	\$	- \$	-	\$	-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.	00 \$	6,000.00	\$	- \$	12,000.00	\$	- \$	-	\$	-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 700.0	00 \$	700.00	\$	- \$	1,400.00	\$	- \$	-	\$	-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500.0	00 \$	7,500.00	\$	- \$	15,000.00	\$	- \$	-	\$	-	\$-	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.0	00 \$	50.00	\$	- \$	100.00	\$	- \$	-	\$	-	\$-	\$ 100.00	\$ -
otal										\$	- \$	-	\$	-	\$-		\$-





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	STF2	Scarcella Science and Tech. Ctr.	Scarcella Science and Tech. Ctr.	10141 Cash Rd. 77477	?	0	1	75,000	\$989,000	\$12,923,000	7.65%

Sitework / Landscape Planting beds along north side of building need mulch and weeding. Re-stake trees. All south parking lot islands need major care, current island beds are overgrown and very unkempt. All on-site planting beds to be mulched. Need to prune shrubs at main entry. Need to fill in groundcover along main entry drive. No landscape around or in east parking lot, consider placing parking lot trees and screen with parking lot shrubs. Need to place College standard site furnishings in courtyard area. Need to monitor health of turf along north side of site. Refer to irrigation field report for assessment and notes. Sitework: Parking lot on Southside needs restriping. Manholes along Westside have infiltration, debris, and settling of soil around outside. Storm inlets need to be lowered and stabilized. Cleanouts need to be lowered and need new covers. General rating 3

Building Description The Scarcella Science and technology center which is also known as The Scarcella or Stafford Center (New) Campus, is a single story building. It consists of science and computer labs; business technology, lecture halls/classrooms and a TV Studio. Recommendations are as follows: VCT and carpet are in need of general cleaning throughout. All corridors need cleaning of existing vinyl wall covering and VCT flooring. Replace VCT flooring W101 from vending machine damage. Existing wall panels @ Rm. W106 need either painting or replacement. Replace damaged ceiling tile in Rm. E105. Overall building is in good condition.

Mechanical Multi-zone system will need upgrades within five years

Électrical No deficiencies noted.

Plumbing Restrooms meet ADA compliance.

Life Safety - ADA - Hazmat Fire Alarm strobes were needed in (3) three rooms (W105, Conf. A, & S107).

Photographs		
Date: 11-May-09	Date: 11-May-09	
Description: Northeast corner of Scarcella Science and Tech. Building	Description: Entry lobby looking south in corridor	
		Cash Rd Murphy Rd Nurphy R









College C Building (600 STF2	-													
Building I		Scarcella Science and Technology Center														
Qty.	Line Number	Description	Unit	Material	Labor	Equipm	ent	Total	Ex Mate		Extra Labor	ter el entre ser entre ser el	Extra lipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00	\$ 81.50	\$ 20	.00 \$	205.50	\$	-	\$-	\$	-	\$-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35	\$ 3.41	\$	- \$	3.76	\$	-	\$-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00	\$ 595.00	\$	- \$	2,445.00	\$	-	\$-	\$	-	\$-	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ - \$	\$ 108.00	\$	- \$	108.00	\$	-	\$-	\$	-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61	\$ 4.39	\$ 2	.03 \$	9.03	\$	-	\$-	\$	-	\$ -	\$ 11.95	\$-
2500	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$ 2.20	\$ 0.61	\$	- \$	2.81	\$5,	500.00	\$ 1,525.0	0 \$	-	\$ 7,025.00	\$ 3.37	\$ 8,425.00
600	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36	\$ 0.64	\$	- \$	2.00	\$	316.00	\$ 384.0	0 \$	-	\$ 1,200.00	\$ 2.56	\$ 1,536.00
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50	\$ 2.03	\$	- \$	45.53	\$	-	\$-	\$	-	\$ -	\$ 51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00	\$ 21.50	\$	- \$	71.50	\$	-	\$-	\$	-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50	\$ 1.83	\$	- \$	3.33	\$	-	\$-	\$	-	\$ -	\$ 4.65	\$-
1600	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12	\$ 0.35	\$	- \$	0.47	\$	192.00	\$ 560.0	0 \$	-	\$ 752.00	\$ 0.69	\$ 1,104.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12	\$ 0.41	\$	- \$	0.53	\$	-	\$-	\$	-	\$ -	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94	\$ 3.31	\$	- \$	7.25	\$	-	\$-	\$	-	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50	\$ 4.00	\$	- \$	52.50	\$	-	\$-	\$	-	\$-	\$ 59.60	\$-
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00	\$ 45.50	\$	- \$	655.50	\$	-	\$-	\$	-	\$ -	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50	\$ 10.60	\$	- \$	19.10	\$	-	\$-	\$	-	\$-	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ - \$	5 -	\$	- \$	0.75	\$	-	\$-	\$	-	\$ -	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85	\$ 3.06	\$	- \$	9.91	\$	-	\$-	\$	-	\$ -	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93	\$ 0.97	\$	- \$	1.90	\$	-	\$-	\$	-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	r L.F.	\$ 14.50	\$ 8.25	\$	- \$	22.75	\$	-	\$-	\$	-	\$ -	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00	\$ 145.00	\$	- \$	805.00	\$	-	\$-	\$	-	\$-	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00	\$ 119.00	\$	\$	599.00	\$	-	\$-	\$	-	\$-	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00	\$ 29.00	\$	- \$	250.00	\$	-	\$-	\$	-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45	\$ 1.45	\$	\$	2.90	\$	-	\$-	\$	-	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00	\$ 91.50	\$	\$	197.50	\$	-	\$-	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55	\$ 4.72	\$	\$	14.27	\$	-	\$-	\$	-	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49	\$ 0.83	\$	- \$	2.32	\$	-	\$-	\$	-	\$ -	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00	\$ 111.00	\$ 10	.30 \$	391.30	\$	-	\$-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00	\$ 37.50	\$	- \$	332.50	\$	-	\$-	\$	-	\$ -	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$ 3.85	\$ 3.85	\$	\$	7.70	\$	-	\$-	\$	-	\$-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00	\$ 6,000.00	\$	\$	12,000.00	\$	-	\$-	\$	-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 700.00 \$	\$ 700.00	\$	- \$	1,400.00	\$	-	\$-	\$	-	\$-	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$ 7,500.00	\$ 7,500.00	\$	- \$	15,000.00	\$	-	\$-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 50.00	\$ 50.00	\$	- \$	100.00	\$	-	\$-	\$	-	\$-	\$ 100.00	\$ -
Total									\$6.	508.00	\$ 2,469.0	0 \$	-	\$ 8,977.00		\$ 11,065.00





Facility Condition Executive Summary

Colleg Code		Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	STAF	Stafford Campus	Stafford Campus (7 Bldgs.)	9910 Cash Rd., 77477	?	0	1	57,230	\$2,833,000	\$8,785,000	32.25%

Sitework / Landscape Need to re-stripe existing cross-walk. Need to update existing signage along roadway. Need to replace dead Redbud in front planting plant, along with weeding entire bed. Need to place irrigation heads on 12" risers in front bed for adequate coverage. No other on-site irrigation besides front entry bed. Need to provide fencing along backside of property to create a secure campus. Need to screen adjacent industrial building (noise). Need to update existing site furnishings with College standard.

Sitework: The parking lot striping needs to be repainted. Curb stops are missing throughout. Several locations in the parking lots hold water during hard rains. The storm inlets need to have the debris removed from the system. Overall Rating: 3.5

Building Description The Stafford Campus 'building' is comprised of 7 buildings. The facility has undergone little or no renovation within the last 10-15 years. After assessing the condition of buildings "A" and "B" we recommend the following corrections / improvements: Remove/replace ceiling tiles and grid in classrooms. Paint all walls in classrooms; repair gypsum board walls as needed. Remove and replace Carpet in offices. Remove and replace VCT Floor tiles in classrooms and corridors. Redesign Men's and Women's restrooms to be compliant with TAS/ADA codes. T- Buildings C, D, E, F and G were not accessible upon inspection due to structural and life-safety issues. These temporary buildings are being demolished in October and the function of spaces will be relocated to a building to be determined by HCC.

Mechanical The equipment in this facility is over 20 years old and needs to be replaced. Including five exterior AHU's; all but two of the Condenser Units;

Électrical Electrical switchgear needs upgrades. No emergency power. Exterior electrical service entrance needs to be upgraded.

Plumbing Restrooms need upgrades for ADA compliance. Replace 1/2 HP circulating pump.

Life Safety + ADA - Hazmat No deficiencies noted.

Photographs		
Date: 20-May-09 Description: Looking North @ Building A & B	Date: 20-May-09 Description: Looking North @ (4) Temp. Bldgs	
	<image/>	Cash Rd Bansdo D PH 192 Pd Hurphy Rd Hurphy Rd









College (Building		600 STAF]														
Building		STAF Stafford Campus (7 Bldgs.)	1														
Qty.	Line Number	Description	Unit	Mater	ial	Labor	Equipme	nt	Total	Extra Materia	1	Extra Labor	Extra Equipm		Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 10	04.00 \$	81.50	\$ 20.0	0 \$	205.50	\$	- \$	-	\$	-	\$ -	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.41	\$-	\$	3.76	\$	- \$	-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,85	50.00 \$	595.00	\$-	\$	2,445.00	\$	- \$	-	\$	-	\$-	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.00	\$-	\$	108.00	\$	- \$	-	\$	-	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.39	\$ 2.0	3 \$	9.03	\$	- \$	-	\$	-	\$-	\$ 11.95	\$-
7500	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.61	\$-	\$	2.81	\$ 16,500	.00 \$	4,575.00	\$	-	\$ 21,075.00	\$ 3.37	\$ 25,275.00
10000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.64	\$-	\$	2.00	\$ 13,600	.00 \$	6,400.00	\$	-	\$ 20,000.00	\$ 2.56	\$ 25,600.00
275	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 4	43.50 \$	2.03	\$-	\$	45.53	\$ 11,962	.50 \$	558.25	\$	-	\$ 12,520.75	\$ 51.18	\$ 14,074.50
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 5	50.00 \$	21.50	\$-	\$	71.50	\$	- \$	-	\$	-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$	1.50 \$	1.83	\$-	\$	3.33	\$	- \$	-	\$	-	\$-	\$ 4.65	\$ -
20000	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$	0.12 \$	0.35	\$-	\$	0.47	\$ 2,400	.00 \$	7,000.00	\$	-	\$ 9,400.00	\$ 0.69	\$ 13,800.00
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$	0.12 \$	0.41	\$-	\$	0.53	\$	- \$	-	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$	3.94 \$	3.31	\$-	\$	7.25	\$	- \$	-	\$	-	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 4	48.50 \$	4.00	\$-	\$	52.50	\$	- \$	-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 6'	10.00 \$	45.50	\$-	\$	655.50	\$	- \$	-	\$	-	\$-	\$ 750.50	\$-
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$	8.50 \$	10.60	\$ -	\$	19.10	\$	- \$	-	\$	-	\$-	\$ 26.50	\$ -
0		Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$-	\$	0.75	\$	- \$	-	\$	-	\$-	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$	6.85 \$	3.06	\$-	\$	9.91	\$	- \$	-	\$	-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.97	\$-	\$	1.90	\$	- \$	-	\$	-	\$-	\$ 2.53	\$-
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	r L.F.	\$	14.50 \$	8.25	\$ -	\$	22.75	\$	- \$	-	\$	-	\$-	\$ 29.20	\$ -
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 66	60.00 \$	145.00	\$-	\$	805.00	\$	- \$	-	\$	-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 48	30.00 \$	119.00	\$-	\$	599.00	\$	- \$	-	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 22	21.00 \$	29.00	\$-	\$	250.00	\$	- \$	-	\$	-	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.45	\$-	\$	2.90	\$	- \$	-	\$	-	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 10	06.00 \$	91.50	\$-	\$	197.50	\$	- \$	-	\$	-	\$-	\$ 280.00	\$ -
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.72	\$-	\$	14.27	\$	- \$	-	\$	-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.83	\$-	\$	2.32	\$	- \$	-	\$	-	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 27	70.00 \$	111.00	\$ 10.3	\$0	391.30	\$	- \$	-	\$	-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 29	95.00 \$	37.50	\$-	\$	332.50	\$	- \$	-	\$	-	\$-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.85	\$-	\$	7.70	\$	- \$	-	\$	-	\$-	\$ 7.71	\$ -
4	-	ADA Toilet Renovation	Ea.	\$ 6,00	\$ 00.00	6,000.00	\$-	\$	12,000.00	\$ 24,000	.00 \$	24,000.00	\$	-	\$ 48,000.00	\$ 12,000.00	\$ 48,000.00
0	-	ADA Handrail Renovation	Run	\$ 70	\$ 00.00	700.00	\$-	\$	1,400.00	\$	- \$	-	\$	-	\$-	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,50	\$ 00.00	7,500.00	\$-	\$	15,000.00	\$	- \$	-	\$	-	\$-	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$ 5	50.00 \$	50.00	\$-	\$	100.00	\$	- \$	-	\$	-	\$-	\$ 100.00	\$ -
otal										\$ 44,462	.50 \$	18,533.25	\$	-	\$ 62,995.75		\$ 126,749.50





Facility Condition Executive Summary

Code Code Code	Building Name Address	Year Built Land Area # of Floors Gross Repair Costs Costs FCI
600 STF3 Scarcella Center	SW Stafford Learning Hub 10141 Cash Road, 77477	2008 0 3 120,000 \$49,000 \$21,964,000 0.22%
Sitework / Landscape Sitework: Parking lot on Southside needs restriping. Manholes along Westside have infi	Itration, debris, and settling of soil around outside. Storm inlets need to be lowered and stabilized. Clea	anouts need to be lowered and need new covers. General rating 3
The Stafford Southwest Learning Hub building is a new three-story building recently cor	istructed and still under warranty at the time of inspections.	······································
No deficiencies noted.		·····
• Électrical No deficiencies noted.		
No deficiencies noted.		
Life Safety - ADA - Hazmat No deficiencies noted.		
Photographs		Location Map
Date: 11-May-09 Description: Entry at SW Stafford Learning HUB	Date: 11-May-09 Description: Interior at lobby/main entrance	Scapphale Ré

Photographs		
Date: 11-May-09	Date: 11-May-09	
Description: Entry at SW Stafford Learning HUB	Description: Interior at lobby/main entrance	Scarpinato Rd
		Cash Rd Diansido D' Rungby Rd FM 100 Rd Mutphy Rd FM 100







HCC Facilities Assessment Cost Estimates by Deficiencies - Architectural Items

College Co Building C		600 STF3											
Building N		SW Stafford Learning Hub											
Qty.	Line Number	Description	Unit	Material	Labor Equi	oment	Total	Extra Material	Extra Labor	Extra Equipment	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq. \$	104.00	\$ 81.50 \$	20.00	\$ 205.50	\$ -	\$-	\$ -	\$ -	\$ 281.00	\$ -
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F. \$	0.35	\$ 3.41 \$	-	\$ 3.76	\$-	\$-	\$-	\$-	\$ 5.89	\$ -
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea. \$	1,850.00	\$ 595.00 \$	-	\$ 2,445.00	\$ -	\$-	\$ -	\$-	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job \$; -	\$ 108.00 \$	-	\$ 108.00	\$-	\$-	\$-	\$-	\$ 175.00	\$ -
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F. \$	2.61	\$ 4.39 \$	2.03	\$ 9.03	\$-	\$-	\$ -	\$ -	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 1/2" x 3/32"	S.F. \$	2.20	\$ 0.61 \$	-	\$ 2.81	\$-	\$-	\$ -	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F. \$	1.36	\$ 0.64 \$	-	\$ 2.00	\$-	\$-	\$ -	\$-	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y. \$	43.50	\$ 2.03 \$	-	\$ 45.53	\$-	\$-	\$ -	\$-	\$ 51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea. \$	50.00	\$ 21.50 \$	-	\$ 71.50	\$-	\$-	\$-	\$-	\$ 90.50	\$-
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F. \$	1.50	\$ 1.83 \$	-	\$ 3.33	\$ -	\$-	\$-	\$-	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F. \$	0.12	\$ 0.35 \$	-	\$ 0.47	\$ -	\$-	\$-	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F. \$	0.12	\$ 0.41 \$	-	\$ 0.53	\$ -	\$-	\$ -	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F. \$	3.94	\$ 3.31 \$	-	\$ 7.25	\$-	\$-	\$ -	\$-	\$ 9.69	\$ -
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F. \$	48.50	\$ 4.00 \$	-	\$ 52.50	\$ -	\$-	\$ -	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea. \$	610.00	\$ 45.50 \$	-	\$ 655.50	\$-	\$-	\$ -	\$-	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F. \$	8.50	\$ 10.60 \$	-	\$ 19.10	\$ -	\$-	\$ -	\$ -	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F. \$; -	\$ - \$	-	\$ 0.75	\$-	\$-	\$-	\$-	\$ 0.90	\$ -
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F. \$	6.85	\$ 3.06 \$	-	\$ 9.91	\$-	\$-	\$-	\$-	\$ 12.29	\$ -
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F. \$	0.93	\$ 0.97 \$	-	\$ 1.90	\$ -	\$-	\$-	\$-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F. \$	14.50	\$ 8.25 \$	-	\$ 22.75	\$-	\$-	\$ -	\$-	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea. \$	660.00	\$ 145.00 \$	-	\$ 805.00	\$-	\$-	\$ -	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng. \$	480.00	\$ 119.00 \$	-	\$ 599.00	\$-	\$-	\$ -	\$-	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea. \$	221.00	\$ 29.00 \$	-	\$ 250.00	\$ -	\$-	\$ -	\$-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F. \$	1.45	\$ 1.45 \$	-	\$ 2.90	\$-	\$-	\$ -	\$-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq. \$	106.00	\$ 91.50 \$	-	\$ 197.50	\$-	\$-	\$ -	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq. \$	9.55	\$ 4.72 \$	-	\$ 14.27	\$-	\$-	\$ -	\$-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F. \$	1.49	\$ 0.83 \$	-	\$ 2.32	\$-	\$-	\$-	\$-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea. \$	270.00	\$ 111.00 \$	10.30	\$ 391.30	\$-	\$-	\$-	\$-	\$ 514.35	\$ -
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea. \$	295.00	\$ 37.50 \$	-	\$ 332.50	\$ -	\$-	\$-	\$-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F. \$	3.85	\$ 3.85 \$	-	\$ 7.70	\$ -	\$ -	\$ -	\$ -	\$ 7.71	\$ -
0	-	ADA Toilet Renovation	Ea. \$	6,000.00	\$ 6,000.00 \$	-	\$ 12,000.00	\$ -	\$-	\$ -	\$ -	\$ 12,000.00	\$ -
0	-	ADA Handrail Renovation	Run \$	700.00	\$ 700.00 \$	-	\$ 1,400.00	\$ -	\$ -	\$ -	\$ -	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea. \$	7,500.00	\$ 7,500.00 \$	-	\$ 15,000.00	\$ -	\$-	\$ -	\$-	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea. \$	50.00	\$ 50.00 \$	-	\$ 100.00	\$ -	\$ -	\$ -	\$ -	\$ 100.00	\$ -
Total		·	• • • • • • • • • • • • • • • • • • •				•	\$-	\$ -	\$-	\$-	• •	\$-





Facility Condition Executive Summary

Colle Cod		Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
600	WLOP	West Loop Center	West Loop Center Bldg.	5601 West Loop South, 77081	1990	0	2	199,451	\$4,791,000	\$32,118,000	14.92%

Sitework / Landscape Need to provide screening of maintenance area. Perimeter hedge row in good condition, need to fill in areas where applicable. Groundcover and turf on south side needs to be removed and replaced. Need to ensure that all existing site furnishings are matched and College standard. Sitework: Several birdbaths were located throughout the parking lot. Sanitary sewer manhole is in need of repair. Most of the inlets hold water. Broken curb throughout. Overall Rating: 4

Building Description The West Loop Center building is located at 5601 West Loop South and was originally constructed as a large electronics retail center in 1990. HCC acquired the property in 1998 and renovations were started and completed in 1999. Approximately 60,000 sq. ft. of the 200,000 total sq. ft. building was extensively renovated so most of the non-structural components are only 10 years old. Remove/replace drop ceiling tiles and grid where needed throughout the building. Repair cracked concrete floors throughout the entire building. Overall, The West Loop Center Building is in good condition.

Mechanical AHU's and exhaust fans should be replaced within five years.

Electrical Electrical switchgear should be upgraded.

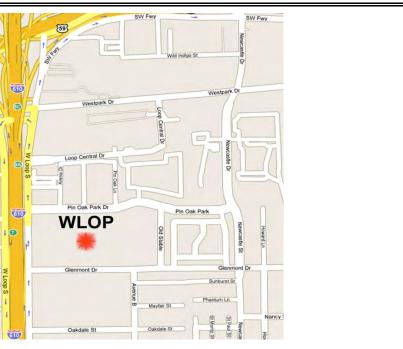
Plumbing No deficiencies noted.

Life Safety + ADA - Hazmat No deficiencies noted.

Photographs		
Date: Description: Exterior at main entry	Date: Description:	
		Vestpark Dr Westpark Dr Westpa









College C Building C		600 WLOP	-													
Building N		West Loop Center Bldg.														
Qty.	Line Number	Description	Unit	Material	Labor	Equipmen	t T	Fotal	Extra Materia	l l	Extra Labor	Extra Equipme		ra(s) otal	Total Overhead & Profit	Total Line Item Cost
0	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$ 104.00 \$	81.50	\$ 20.00) \$	205.50	\$	- \$	-	\$ -	\$	-	\$ 281.00	\$-
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$ 0.35 \$	3.41	\$-	\$	3.76	\$	- \$	-	\$ -	\$	-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$ 1,850.00 \$	595.00	\$-	\$	2,445.00	\$	- \$	-	\$ -	\$	-	\$ 3,125.00	\$ -
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$ - \$	5 108.00	\$-	\$	108.00	\$	\$	-	\$ -	\$	-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$ 2.61 \$	6 4.39	\$ 2.03	3 \$	9.03	\$	\$	-	\$ -	\$	-	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 1/2" x 3/32"	S.F.	\$ 2.20 \$	6 0.61	\$-	\$	2.81	\$	\$	-	\$ -	\$	-	\$ 3.37	\$ -
25000	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$ 1.36 \$	6 0.64	\$-	\$	2.00	\$ 34,000	.00 \$	16,000.00	\$ -	\$ 50	,000.00	\$ 2.56	\$ 64,000.00
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$ 43.50 \$	5 2.03	\$-	\$	45.53	\$	- \$	-	\$ -	\$	-	\$ 51.18	\$ -
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$ 50.00 \$	6 21.50	\$-	\$	71.50	\$	\$	-	\$ -	\$	-	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$ 1.50 \$	5 1.83	\$-	\$	3.33	\$	\$	-	\$ -	\$	-	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$ 0.12 \$	6 0.35	\$-	\$	0.47	\$	- \$	-	\$ -	\$	-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$ 0.12 \$	6 0.41	\$-	\$	0.53	\$	- \$	-	\$ -	\$	-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$ 3.94 \$	3.31	\$-	\$	7.25	\$	- \$	-	\$ -	\$	-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$ 48.50 \$	6 4.00	\$-	\$	52.50	\$	- \$	-	\$ -	\$	-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$ 610.00 \$	6 45.50	\$-	\$	655.50	\$	- \$	-	\$ -	\$	-	\$ 750.50	\$ -
0	042113132100	Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$ 8.50 \$	5 10.60	\$-	\$	19.10	\$	- \$	-	\$ -	\$	-	\$ 26.50	\$ -
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$ - \$	-	\$-	\$	0.75	\$	- \$	-	\$ -	\$	-	\$ 0.90	\$ -
2000	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$ 6.85 \$	3.06	\$-	\$	9.91	\$ 13,700	.00 \$	6,120.00	\$ -	\$ 19	,820.00	\$ 12.29	\$ 24,580.00
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$ 0.93 \$	6 0.97	\$-	\$	1.90	\$	- \$	-	\$ -	\$	-	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open header	L.F.	\$ 14.50 \$	8.25	\$-	\$	22.75	\$	- \$	-	\$ -	\$	-	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$ 660.00 \$	6 145.00	\$-	\$	805.00	\$	\$	-	\$ -	\$	-	\$ 953.00	\$-
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$ 480.00 \$	6 119.00	\$-	\$	599.00	\$	\$	-	\$ -	\$	-	\$ 751.00	\$-
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$ 221.00 \$	6 29.00	\$-	\$	250.00	\$	- \$	-	\$ -	\$	-	\$ 291.00	\$ -
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$ 1.45 \$	5 1.45	\$-	\$	2.90	\$	\$	-	\$ -	\$	-	\$ 4.00	\$-
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$ 106.00 \$	91.50	\$-	\$	197.50	\$	\$	-	\$ -	\$	-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$ 9.55 \$	6 4.72	\$-	\$	14.27	\$	- \$	-	\$ -	\$	-	\$ 18.95	\$-
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$ 1.49 \$	6 0.83	\$-	\$	2.32	\$	\$	-	\$ -	\$	-	\$ 3.12	\$ -
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$ 270.00 \$	5 111.00	\$ 10.30	5	391.30	\$	- \$	-	\$ -	\$	-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$ 295.00 \$	37.50	\$-	\$	332.50	\$	\$	-	\$ -	\$	-	\$ 387.00	\$ -
0	-	Wood Strip Flooring	L.F.	\$ 3.85 \$	3.85	\$-	\$	7.70	\$	- \$	-	\$ -	\$	-	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$ 6,000.00 \$	6,000.00	\$-	\$ 1	2,000.00	\$	- \$	-	\$ -	\$	-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$ 700.00 \$	5 700.00	\$-	\$	1,400.00	\$	- \$	-	\$ -	\$	-	\$ 1,400.00	\$ -
0	-	Wheelchair Lift	Ea.	\$ 7,500.00 \$	5 7,500.00	\$-	\$ 1	5,000.00	\$	- \$	-	\$ -	\$	-	\$ 15,000.00	\$ -
0	-	Elevator Signage	Ea.	\$ 50.00 \$	50.00	\$-	\$	100.00	\$	- \$	-	\$ -	\$	-	\$ 100.00	\$ -
otal									\$ 47,700	.00 \$	22,120.00	\$ -	\$ 69	,820.00		\$ 88,580.00





Facility Condition Executive Summary

College Code	Building Code	Campus Name	Building Name	Address	Year Built	Land Area	# of Floors	Gross Area	Repair Costs	Replacement Costs	FCI
700	CHSC	Coleman Health Science Ctr.	Coleman Health Science Ctr.	1900 Pressler Dr, 77030	1999	0	5	140,000	\$623,000	\$36,527,000	1.71%
bed, refer to ir	ke existing Live Oa rigation field report	ak along Preston. Need to remove rock on east side for assessment and locations. need to have the inverts built and some concrete de		e bed. Need to update existing "no smoking" signs.	Need to replace	broken tiles adja	icent to front entry	v. Need to repa	air existing irrigation head	s located in large Asia	an Jasmine
	Health and Science		The exterior of the building is made of pre-finished met fing material has small areas of blistering and water po		good condition.	The interiors are	in good condition.	One pane of v	vindow glazing in roof cle	restory at the grand st	taircase nee
Mechanica Two Coolaire	roof exhaust units o	over the atrium were not working. Investigate for rep	air or replacement. Oxygen tank in first floor oxygen ro	oom has no blowout panel, one needs to be added.	·····	·	<u></u>	<u></u>	·····	·····	· · · · · · · · · · · · · · · · · · ·
Electrical	ection on the roof h	as been disconnected in some locations. System ne	eds to be repaired and recertified. Many classrooms h	nave electrical floor plugs, they are not working and n	eed to be replac			·····	·····	·····	·····
Plumbing No deficiencie	s noted.	<u></u>	<u></u>	<u></u>	· <u>·····</u>	<u></u>	·:·:·:·:·:·:	·····	<u></u>	·····	<u></u>

Life Safety - ADA - Hazmat No deficiencies noted.

				T
Photographs	;			
Date:	11-Jun-09	Date:	11-Jul-09	
Description:	Southeast elevation of building	Description:	Curtain wall at study area	Jan Rd
				2120 2121 2121 Pahrnock Morel Table 1 10 10 10 10 10 10 10 10 10 10 10 10 10





Location Map be Blvd 0 CHSC



College C Building		700 CHSC	-															
Building		CHSC Coleman Health Science Ctr.																
Qty.	Line Number	Description	Unit	Mat	erial	Labor	Equip	ment	Total		Extra Material		ktra Ibor	Extra Equipm	1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.1.	Extra(s) Total	Total Overhead & Profit	Total Line Item Cost
20	075113204300	Built-up roofing systems, asphalt flood coat, smooth surface, coated & saturated base sheet & 4 plies #15 organic felt, mopped	Sq.	\$	104.00 \$	81.5	0 \$ 2	0.00 \$	205	.50 \$	2,080.00)\$1	,630.00	\$ 40	0.00	\$ 4,110.00	\$ 281.00	\$ 5,620.00
0	019313043130	Pointing masonry, repoint, mask and grout method, running bond	S.F.	\$	0.35 \$	3.4	1 \$	- \$	3	.76 \$	-	\$	-	\$	-	\$-	\$ 5.89	\$-
0	083323100300	Doors, rolling service, steel, manual, 20 gauge, 12' x 12' high, incl. hardware	Ea.	\$1,	850.00 \$	595.0	D \$	- \$	2,445	.00 \$	-	\$	-	\$	-	\$ -	\$ 3,125.00	\$-
0	040120209000	Pointing masonry, minimum labor/equipment charge	Job	\$	- \$	108.0	D \$	- \$	108	.00 \$	-	\$	-	\$	-	\$-	\$ 175.00	\$-
0	096613102710	Portland cement terrazzo, cast in place, monolithic type, 1/2" thick, 10' panels	S.F.	\$	2.61 \$	4.3	э\$	2.03 \$	ç	.03 \$	-	\$	-	\$	-	\$ -	\$ 11.95	\$-
0	096519107300	Resilient Flooring, vinyl composition tile, solid, 12" x 12" x 3/32"	S.F.	\$	2.20 \$	0.6	1 \$	- \$	2	.81 \$	-	\$	-	\$	-	\$ -	\$ 3.37	\$-
0	095123300600	Complete Suspended Ceilings, fiberglass ceiling board, plain faced, 2' x 4' x 5/8", incl. standard susp. system, excl. 1-1/2" carrier channels	S.F.	\$	1.36 \$	0.6	4 \$	- \$	2	.00 \$	-	\$	-	\$	-	\$ -	\$ 2.56	\$-
0	096813100210	Carpet Tile, tufted nylon, cushion back, 26 oz, 18" x 18"	S.Y.	\$	43.50 \$	2.0	3 \$	- \$	45	.53 \$	-	\$	-	\$	-	\$-	\$ 51.18	\$-
0	089119100800	Wall louvers, aluminum, with screen, triangle, adjustable, large	Ea.	\$	50.00 \$	21.5	D \$	- \$	71	.50 \$	-	\$	-	\$	-	\$ -	\$ 90.50	\$ -
0	092116331600	Partition Wall, interior, water resistant, taped both sides, installed on & incl.25 ga, NLB metal studs, 3 5/8" wide, 16" O.C., 8' to 12' high, 1/2" gypsum drywall	S.F.	\$	1.50 \$	1.8	3 \$	- \$	3	.33 \$	-	\$	-	\$	-	\$-	\$ 4.65	\$ -
0	099123740840	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, roller	S.F.	\$	0.12 \$	0.3	5 \$	- \$	C	.47 \$	-	\$	-	\$	-	\$-	\$ 0.69	\$ -
0	099123740800	Paints & Coatings, walls & ceilings, interior, concrete, drywall or plaster, zero voc latex, 2 coats, smooth finish, brushwork	S.F.	\$	0.12 \$	0.4	1 \$	- \$	C	.53 \$	-	\$	-	\$	-	\$-	\$ 0.79	\$ -
0	040120202020	Pointing masonry, scrub coat, sand coat on walls, maximum	S.F.	\$	3.94 \$	3.3	1 \$	- \$	7	.25 \$	-	\$	-	\$	-	\$-	\$ 9.69	\$-
0	102226131500	Partitions, folding accordion, vinyl clad wood or steel, electric operation, 5 lb per S.F.	S.F.	\$	48.50 \$	4.0	D \$	- \$	52	.50 \$	-	\$	-	\$	-	\$-	\$ 59.60	\$ -
0	081313150700	Doors, fire, flush, "A" label, 3 hour, composite, 18 ga., 4'-0" x 7'-0"	Ea.	\$	610.00 \$	45.5	D \$	- \$	655	.50 \$	-	\$	-	\$	-	\$-	\$ 750.50	\$-
0		Brick veneer masonry, red brick, english, full header every 2nd course, T.L. lots, 10.13/S.F., 4" x 2-2/3" x 8", includes 3% brick and 25% mortar waste, excludes scaffolding, grout and reinforcing	S.F.	\$	8.50 \$	10.6	D \$	- \$	19	.10 \$	-	\$	-	\$	-	\$-	\$ 26.50	\$-
0	019313031050	Sealing concrete floor, oil or urethane base, 2 coats, max	S.F.	\$	- \$	-	\$	- \$	C	.75 \$	-	\$	-	\$	-	\$-	\$ 0.90	\$-
0	030130620150	Patching concrete, floors, small area, epoxy grout, 1/4" thick	S.F.	\$	6.85 \$	3.0	6 \$	- \$	9	.91 \$	-	\$	-	\$	-	\$ -	\$ 12.29	\$-
0	096513131150	Cove base, rubber or vinyl, standard colors, 4" h, .080" thick	L.F.	\$	0.93 \$	0.9	7 \$	- \$	1	.90 \$	-	\$	-	\$	-	\$ -	\$ 2.53	\$ -
0	084113202000	Tube Framing, for window walls and storefronts, aluminum, stock, flush tube frame, mill finish, for insulated glass with thermal break, 2" x 4-1/2", open heade	L.F.	\$	14.50 \$	8.2	5 \$	- \$	22	.75 \$	-	\$	-	\$	-	\$-	\$ 29.20	\$-
0	233423106180	Fans, propeller exhaust, wall shutter, direct drive, 1/4" S.P., two speed, 3275 CFM, 1/2 H.P.	Ea.	\$	660.00 \$	145.0	D \$	- \$	805	.00 \$	-	\$	-	\$	-	\$-	\$ 953.00	\$ -
0	084313100520	Frames, aluminum, door, entrance, bronze finish, storefront, 6' x 7' opening	Opng.	\$	480.00 \$	119.0	D \$	- \$	599	.00 \$	-	\$	-	\$	-	\$-	\$ 751.00	\$ -
0	126113132200	Auditorium chair, veneer back, padded seat	Ea.	\$	221.00 \$	29.0	D \$	- \$	250	.00 \$	-	\$	-	\$	-	\$-	\$ 291.00	\$-
0	074646100050	Fiber Cement Siding, lap siding, smooth texture, 5/16" thick x 9-1/2" wide, 8-1/4" exposure	S.F.	\$	1.45 \$	1.4	5 \$	- \$	2	.90 \$	-	\$	-	\$	-	\$-	\$ 4.00	\$ -
0	073113100500	Asphalt Shingles, premium, laminated multi-layered shingles, class C, 300-385 lb/sq, 5 bundles/sq	Sq.	\$	106.00 \$	91.5	D \$	- \$	197	.50 \$	-	\$	-	\$	-	\$-	\$ 280.00	\$-
0	073113100825	Asphalt Shingles, #30 felt underlayment	Sq.	\$	9.55 \$	4.7	2 \$	- \$	14	.27 \$	-	\$	-	\$	-	\$-	\$ 18.95	\$ -
0	073113100900	Asphalt Shingles, ridge shingles	L.F.	\$	1.49 \$	0.8	3 \$	- \$	2	.32 \$	-	\$	-	\$	-	\$ -	\$ 3.12	\$-
0	081213250100	Door frames, steel channels with anchors and bar stops, 6" channel @ 8.2 lb/LF, 3' x 7' door, weighs 150 lb	Ea.	\$	270.00 \$	111.0	D \$ 1	0.30 \$	391	.30 \$	-	\$	-	\$	-	\$-	\$ 514.35	\$-
0	081313130100	Doors, hollow metal, commercial, steel, flush, full panel, hollow core, 1-3/8" thick, 20 ga., 3'-0" x 7'-0"	Ea.	\$	295.00 \$	37.5	D \$	- \$	332	.50 \$	-	\$	-	\$	-	\$ -	\$ 387.00	\$-
0	-	Wood Strip Flooring	L.F.	\$	3.85 \$	3.8	5 \$	- \$	7	.70 \$	-	\$	-	\$	-	\$ -	\$ 7.71	\$-
0	-	ADA Toilet Renovation	Ea.	\$6,	000.00 \$	6,000.0	5	- \$	12,000	.00 \$	-	\$	-	\$	-	\$-	\$ 12,000.00	\$-
0	-	ADA Handrail Renovation	Run	\$	700.00 \$	700.0	D \$	- \$	1,400	.00 \$	-	\$	-	\$	-	\$ -	\$ 1,400.00	\$-
0	-	Wheelchair Lift	Ea.	\$7,	500.00 \$	7,500.0	D \$	- \$	15,000	.00 \$	-	\$	-	\$	-	\$ -	\$ 15,000.00	\$-
0	-	Elevator Signage	Ea.	\$	50.00 \$	50.0	D \$	- \$	100	.00 \$	-	\$	-	\$	-	\$ -	\$ 100.00	\$-
Fotal							•			s	2,080.00) \$ 1	,630.00	\$ 40	0.00	\$ 4,110.00		\$ 5,620.00

